



**CITY OF PACIFIC GROVE**

Community Development Department – Planning Division # 2292  
 300 Forest Avenue, Pacific Grove, CA 93950  
 T :: 831.648.3190 • F :: 831.648.3184 • www.ci.pg.ca.us/cdd  
**Permit & Request Application**

Project Permit(s) & Fees			
Permit: <u>AP</u>	Fee: <u>\$2282.00</u>	Multiple Permit Discount: _____	App. #: <u>14-547</u>
_____	_____	_____	Date: <u>10/30/14</u>
_____	_____	_____	Received By: <u>A. Hobson</u>
_____	_____	_____	Total Fee: <u>\$2282.00</u>

Project/Property Information	
Project Address: <u>322 LIGHTHOUSE AVE.</u>	APN: <u>006-204-007</u>
Lot: <u>26+28</u> Block: <u>13</u>	Tract: _____
ZC: <u>R3-PGR</u> GP: _____	Lot Size: <u>61.07' x 35.22' x 60' x 48.25'</u>
Project Description: <u>ADD ROOF DORMER, WINDOWS, 2ND STORY BALCONY TO EXISTING DUPLEX REMODEL EXIST. ATTIC TO BEDROOM/BATH</u>	
Applicant Name: <u>JOSEPH ROCK</u>	Phone #: <u>831 373-8331</u>
Mailing Address: <u>210 SEVENTEENTH ST., #1, PACIFIC GROVE, CA 93950</u>	
Email Address: <u>ROCKTECT @ SBC GLOBAL.NET</u>	
Owner Name: <u>AMY DELANEY</u>	Phone #: <u>408-896-4266</u>
Mailing Address: <u>4465 SHERBOURNE DR., SAN JOSE, CA 95124</u>	
Email Address: <u>PACIFIC GROVE COTTAGES. @ YAHOO.COM</u>	

Permit(s)/Request(s)			
<input type="checkbox"/> CRD: Counter Determination	<input type="checkbox"/> UP: Use Permit	<input type="checkbox"/> IHS: Initial Historic Screening	<input type="checkbox"/> VAR: Variance
<input type="checkbox"/> AP: Architectural Permit	<input type="checkbox"/> AUP: Administrative UP	<input type="checkbox"/> HPP: Historic Preservation Permit	<input type="checkbox"/> AVAR: Administrative VAR
<input type="checkbox"/> AAP: Administrative AP	<input type="checkbox"/> UP-A: UP Amendment	<input type="checkbox"/> HDP: Historic Demolition Permit	<input type="checkbox"/> VAR-A: VAR Amendment
<input type="checkbox"/> ADC: AP Design Change	<input type="checkbox"/> AUP-A: AUP Amendment	<input type="checkbox"/> HRP: Historic Relocation Permit	<input type="checkbox"/> AVAR-A: AVAR Amendment
<input type="checkbox"/> SP: Sign Permit	<input type="checkbox"/> C-1 Interp. of Permitted Uses	<input type="checkbox"/> HD: Historic Determination	<input type="checkbox"/> IS & ND/MND: Initial Study
<input type="checkbox"/> ASP: Administrative SP	<input type="checkbox"/> SU: Second Unit	<input type="checkbox"/> TPD: Tree Permit w/ Dev't	<input type="checkbox"/> EIR: Env. Impact Report
<input type="checkbox"/> TTM: Tentative Tract Map	<input type="checkbox"/> LLA: Lot Line Adjustment	<input type="checkbox"/> PUU: Permit Undocumented Unit	<input type="checkbox"/> MMP: Mitigation Monitoring
<input type="checkbox"/> FTM: Final Tract Map	<input type="checkbox"/> LM: Lot Merger	<input type="checkbox"/> GPA: General Plan Amendment	<input type="checkbox"/> Other _____
<input type="checkbox"/> SPR: Site Plan Review	<input type="checkbox"/> COC: Certificate of Compliance	<input type="checkbox"/> ZCA: Zoning Code Amendment	<input type="checkbox"/> Other _____

CEQA Determination	Review Authority	Does the property have?	Is the property within?
<input type="checkbox"/> Cat. Exempt, Class:	<input type="checkbox"/> Staff <input type="checkbox"/> NRC	<input type="checkbox"/> Active Planning Permit	<input type="checkbox"/> ASA: Archaeologically Sensitive Area <sup>1</sup>
<input type="checkbox"/> ND: Negative Declaration	<input type="checkbox"/> ZA <input type="checkbox"/> HRC	<input type="checkbox"/> Active Building Permit	<input type="checkbox"/> CZ: Coastal Zone <sup>2</sup>
<input type="checkbox"/> MND: Mitigated ND	<input type="checkbox"/> SPRC <input type="checkbox"/> PC	<input type="checkbox"/> Active Code Violation	<input type="checkbox"/> ASBS: Drainage into ASBS Watershed
<input type="checkbox"/> EIR: Environmental Impact Report	<input checked="" type="checkbox"/> ARB <input type="checkbox"/> CC		<input type="checkbox"/> HRI: Historic Resources Inventory <sup>3,4</sup>
			<input type="checkbox"/> BP: Butterfly Preserve Buffer

**CERTIFICATION** – I, the undersigned, under penalty of perjury, depose and certify that I am the applicant for this request, that the property owner approves this application and that all statements contained herein, including all documents and plans submitted in connection with this application, are true and accurate to the best of my knowledge.






Applicant Signature                      Date                      Owner Signature (Required)                      Date

## PROJECT DATA SHEET

Project Address: 322 LIGHTHOUSE Submittal Date: OCT. 30, 2014  
 Applicant(s): JOSEPH ROCK Permit Type(s) & No(s): \_\_\_\_\_

	REQUIRED/ Permitted	Existing Condition	Proposed Condition	Notes
Zone District	R-3PCR			
Building Site Area	2504	-	-	
Density (multi-family projects only)	-			
Building Coverage	50%	30%	30%	
Site Coverage	60%			
Gross Floor Area	1889	1442	1442	
Square Footage not counted towards Gross Floor Area	128			
Impervious Surface Area Created and/or Replaced				
Exterior Lateral Wall Length to be demolished in feet & % of total*	18'	226	ft/8%	
Exterior Lateral Wall Length to be built	18'	226	8%	
Building Height	30'	26'-6"	26'-6"	
Number of stories				
Front Setback	8'	10'-6"	10'-6"	
<u>EAST</u> Side Setback (specify side)	10'	21'	21'	
<u>WEST</u> Side Setback (specify side)	6'	6'-4"	6'-4"	
Rear Setback	8'	2'	2'	
Garage Door Setback	20'	N.A.		
Covered Parking Spaces	2	0	0	VAR. B3-846
Uncovered Parking Spaces		0	0	
Parking Space Size (Interior measurement)	9' x 20'	N.A.		
Number of Driveways	1	0		
Driveway Width(s)		N.A.		
Back-up Distance		-		
Eave Projection (Into Setback)	3' maximum			
Distances Between Eaves & Property Lines	3' minimum	2'		
Open Porch/Deck Projections	4'	1'-6"	1'-6"	
Architectural Feature Projections				
Number & Category of Accessory Buildings	1	0	0	
Accessory Building Setbacks	N.A.			
Distance between Buildings	-			
Accessory Building Heights	N.A.			
Fence Heights	3'	3'-6"	3'-6"	

\*If project proposes demolition to an HRI structure, also indicate % of proposed demolition of the surface of all exterior walls facing a public street or streets, if applicable.

KENT L. SEAVEY

7.a

310 LIGHTHOUSE AVENUE  
PACIFIC GROVE, CALIFORNIA 93950  
(831)375-8739

October 29, 2014

Mr. Joseph Rock  
Architecture & Planning  
210 Seventeenth St. #1  
Pacific Grove, CA 93950

Dear Mr. Rock:

**Introduction:**

This Focused Phase II Review has been prepared on behalf of the Plato-Delaney-Lawrence family, as part of an application to alter an existing two-story residential duplex by adding a partial-width shed-roofed dormer to the west side elevation, and replacing an existing wooden vent in the gable apex of the south facing facade with a wood window, and add a similar window in the gable apex of the north (rear) elevation, to bring light and air into a loft space. They also propose to add a partial-width wooden deck off the upper floor of the east side-elevation, and replace one window with a door accessing the deck, to provide code required egress from the second floor bedrooms. The subject property is located at 322 Lighthouse Ave. (APN# 006-204-007), in Pacific Grove (see photos and plans & drawings provided).

The function of the review is to assess the project for consistency of the proposed alteration with the Secretary of the Interior's Standards for the Treatment of Historic Properties, in case the subject property is determined to have historic value.

The Secretary of the Interior's Standards for the Treatment of Historic Properties identify four primary treatment approaches to historic buildings. They are Restoration, Preservation, Reconstruction and Rehabilitation. Rehabilitation would be the recommended standard for treatment on 322 Lighthouse Avenue.

Rehabilitation is defined as the act or process of making a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values.

The Secretary's Standards encourages "placing a new addition on a non-character-defining elevation." and locating alterations to historic properties in areas where previous alterations already exist.

As stated in the 1992 National Park Service *Illustrated Guidelines for Rehabilitating Historic Buildings*, "The Standards are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility."

### **Historical Background & Description:**

The subject property, constructed in 1941, is an altered example of the vernacular front-gabled National Folk House form. It falls under the City of Homes (1927-1945) classification of themes in the 2011 Pacific Grove Historic Context Statement. It was reviewed, but not listed in the Pacific Grove Historic Resource Inventory.

Monterey County Assessor's records give the construction date as 1941. Pacific Grove building records have a building permit dated August 31, 1940 (PGBP# 1600). The owner/builder at that time was Ms. Emma L. Kean. There is no record of an Emma L. Kean in local business or telephone directories, nor in the U.S. Census or California death records. In 1941, Mr. William Cecil Gretter is listed as the owner. Mr. Gretter was a pharmacist at the Pease Pharmacy, 562 Lighthouse Ave., in Pacific Grove. After Gretter's death in 1947, a Ms. Edna M. Bushey is listed as in residence. No biographical information on Ms. Bushey has been located to date. In 1953 Ms. Wanetta Coble, the manager of the Peninsula Shirt Laundry at 460 Washington St., in Monterey was in occupancy.

In the 1970s, Edith Chester, a retired Carmel librarian purchased the residence for rental purposes making it a duplex. In 1983, she converted an internal garage into living space (PGVA 83-846). The property passed to her heirs after her passing and continued to be a rental duplex until the current owners purchased the property this year (see P.G. Heritage Society documentation provided).

The subject property is a two-story, wood-framed example of the vernacular front-gabled National Folk House form. It is rectangular in plan, resting on a concrete foundation. The exterior wall cladding is a narrow, horizontal clapboard wood siding with corner boards, and some ship-lap wood siding on the first floor of a small projecting bay at the NW corner of the residence.

The medium-pitched, front-gabled roof has overhanging eaves with exposed rafter-tails. The small bay at the NW corner of the residence, stepped below the main roof, is capped by a shed roof. There is one interior brick chimney present. It is located on the rear (north) elevation at the intersection of the main building block and the small bay. The principal entry, on the east side of the south facing facade has a small, front gabled door hood, supported on simple Tuscan columns that in turn rest on a plinth faced with the same wall cladding as the house. The current Adam style fanlight door was added during Mrs. Chester's ownership. The original entry had a Dutch-door with "Z" wood bracing. A small, shed-roofed door hood with simple wood brackets supported on wood posts is located above a flush wood door on the north end of the west side-elevation. All roof covering is in composition shingles.

Fenestration is irregular, with a combination 6/1 double-hung wood windows in varying sizes on the front (south) and side elevations of the second floor, and larger, fixed multi-paned windows on the rear (north) elevation. A wood louvered vent appears in the gable apex of the south facing facade.

The ground floor of the facade has an outward opening double garage door with chevron angled wood facing on its west side, the interior of which has been converted to living space. Two original 6/1 double-hung wood windows on the west side-elevation suggest that the same pattern of fenestration originally existed along the east side-elevation.

The pattern and materials of the current fenestration on the ground floor of the east-side elevation indicate that one of the original double-hung windows was converted to a door and that a large, multi-paned fixed focal window was added. A failing metal hood over the door appears to date to the 1950s. An interior door, now found in a front closet at the entry, may have been the original access to the ground floor living area. Both the east side focal window and a second focal window on the east side of the rear (north) elevation have muntin patterns that differ from the original windows. The door at the north end of the west side-elevation appears to be an addition as well (see photos provided). There is no permit on record for the probable changes noted, however they appear to date to the late 1940s or early 1950s, when Pacific Grove building records were not as well kept as today.

The residence is sited on the NW corner of Lighthouse Ave. and seventh St., set back from the roadways behind a screen of mature trees.

It is located in a residential neighborhood of one and two-story homes and apartment units of varying ages, sizes and styles.

Character defining features include the front-gabled rectangular plan; narrow, clapboard wood siding; 6/1 double-hung and multi-paned fixed windows; simple columned entry.

### **Evaluation:**

322 Lighthouse Ave. is an altered example of the vernacular gable-front National Folk House. The form dates from the 1850's, and is associated with the westward expansion of American railroads, becoming a dominant folk form well into the 20th century. It is primarily found in the Northeast and Midwest in the form of urban row-houses. By the turn of the twentieth century it was a common feature of builders pattern books for working class housing. This example probably came from such a source.

The proponents propose to alter the two-story residential duplex by adding a partial-width shed-roofed dormer to the west side elevation, and replacing an existing wooden vent in the gable apex of the south facing facade with a wood window, and add a similar window in the gable apex of the north (rear) elevation, to bring light and air into a loft space.

They also propose to add a partial-width wooden deck off the upper floor of the east side-elevation, and replace one window with a door accessing the deck, to provide code required egress from the second floor bedrooms. The subject property is located at 322 Lighthouse Ave. (APN# 006-204-007), in Pacific Grove (see photos and plans & drawings provided). The work proposed is as follows:

#### **FRONT (SOUTH) ELEVATION (primary, altered)**

An existing 6/1 double-hung wood window from the east side-elevation is proposed to replace the existing louvered wood vent in the gable apex, to provide light and air into the loft space. The wood vent will be retained and stored for reuse in future, if at some point the facade is returned to its original appearance, consistent with Rehabilitation Standard #10.

NOTE: the original Dutch entry doors are still on site and will also be retained and stored for future use, if needed (see copy of the *Secretary's Standards for Rehabilitation* provided).

### WEST SIDE-ELEVATION (secondary, altered)

As proposed, a partial-width shed-roofed dormer will be added to the roof plane to bring light and air into the loft space. It will be differentiated from the original siding by the use of a narrow ship-lap wood cladding on its sides.

### REAR (NORTH) ELEVATION (secondary, altered)

A multi-paned wood casement window is proposed for addition just west of the chimney stack to provide code required fire egress from the loft space. The window will be multi-paned, to differentiate its appearance from the original 6/1 double-hung sash windows, consistent with Rehabilitation Standards #9.

### EAST SIDE-ELEVATION (primary, altered)

A partial-width, open wooden deck is proposed off the upper floor of this elevation, with the central 6/1 double-hung window removed and replaced with a multi-paned glazed door, to provide code required egress from the second floor bedrooms. This feature would be supported on three wood posts, running from the north side of the entry door to the edge of the building envelope, and have a simple railing with slender balusters. The original 6/1 window proposed for removal will be reused on the facade (see above). A simple shed-roofed door-hood, similar to that found on the north end of the west-elevation, would replace the current deteriorated metal door hood. No other change is proposed for the existing fenestration on this elevation (see photos and plans & drawings provided).

The proposed rehabilitation treatment for this altered residence is consistent with the Secretary's Standards for Rehabilitation, under Standards #1, #2, #5 #6, #9 & #10 (see copy of the Rehabilitation Standards provided).

### **Impacts of the Proposed Project:**

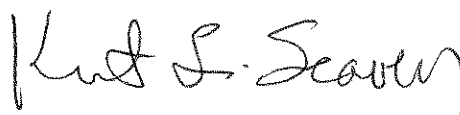
The proposed work on the subject property will be executed consistent with the Secretary's Standards for Rehabilitation, with the least possible loss of historic material so that the remaining character-defining features of the altered residence will not be obscured, damaged or destroyed.

The proposed alterations and addition are reversible. As proposed the new work will not cause a significant change to the building and will not create a significant adverse effect on the environment.

**Mitigation:**

The proposed project is in conformance with the *Secretary of the Interior's Standards for the treatment of Historic Properties* under the Standard for Rehabilitation. No mitigation is needed for this project.

Respectfully Submitted,

A handwritten signature in black ink that reads "Kurt S. Seaver". The signature is written in a cursive style with a large, stylized 'K' and 'S'.



## 322 Lighthouse Avenue-Pacific Grove



Photo #1. Looking north at the south facing facade, October, 2014.



Photo #2. Looking NW at the south facing facade & east side-elevation, October, 2014.



Photo #3. Looking SE at the east side-elevation & the rear (north) elevation, October, 2014.

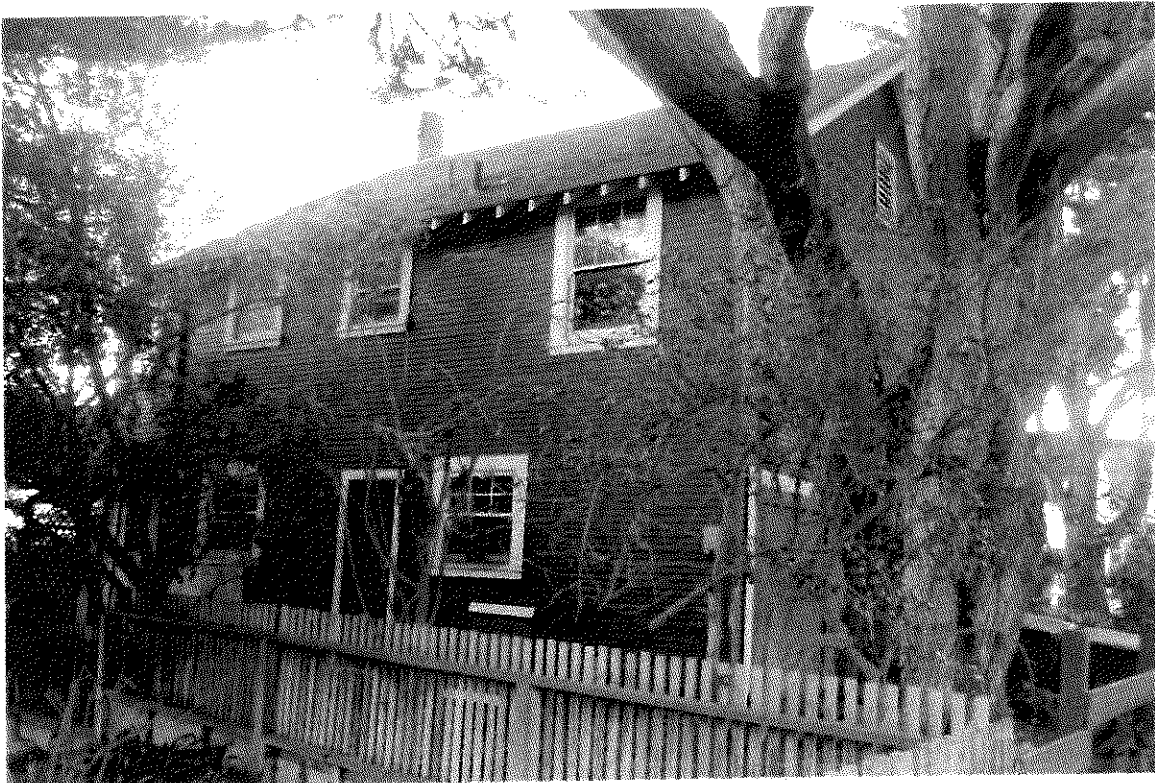


Photo #4. Looking NE at the west side-elevation, October, 2014.

## SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in a such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

HISTORIC RESOURCES INVENTORY

(State use only)

Ser \_\_\_\_\_ Site \_\_\_\_\_ Mo. \_\_\_\_\_ Yr. \_\_\_\_\_  
 UTM \_\_\_\_\_ Q \_\_\_\_\_ NR 301 SHL 7.a  
 Lat \_\_\_\_\_ Lon \_\_\_\_\_ Era \_\_\_\_\_ Sg \_\_\_\_\_  
 Adm \_\_\_\_\_ T2 \_\_\_\_\_ T3 \_\_\_\_\_ Cat \_\_\_\_\_ HABS \_\_\_\_\_ HAER \_\_\_\_\_ Fed \_\_\_\_\_  
 UTM 10/59748/405300

IDENTIFICATION

1. Common name: \_\_\_\_\_
2. Historic name, if known: \_\_\_\_\_
3. Street or rural address: 322 Lighthouse Ave.  
 City: Pacific Grove, CA ZIP: 93950 County: Monterey
4. Present owner, if known: Edith Chester Address: 1111 Beacon Ave.  
 City: Pacific Grove, CA 93950 ZIP: \_\_\_\_\_ Ownership is: Public  Private
5. Present Use: Private Residence Original Use: Single Family Residence  
 Other past uses: \_\_\_\_\_

DESCRIPTION

6. Briefly describe the present physical appearance of the site or structure and describe any major alterations from its original condition:

This is a large, two story home with rectangular plan, columned front porch, medium pitched roof with exposed rafters, clapboard siding and segmented windows 6/1.

7. Locational sketch map (draw and label site and nearest landmarks):



8. Approximate property size:

Lot size (in feet) Frontage 61  
 Depth 41  
 Total acreage \_\_\_\_\_

Condition (check one)

- Excellent  b. Good  c. Fair   
 Deteriorated  d. No longer in existence   
 e. Altered?  f. Unaltered?

Buildings: (Check more than one if necessary)

- a. Isolated  b. Scattered buildings   
 c. Densely built-up  d. Residential   
 e. Commercial  f. Industrial   
 g. Other \_\_\_\_\_

Reasons for site:

- a. One known  b. Private development   
 c. Zoning  d. Public Works project   
 e. Vandalism  f. Other \_\_\_\_\_

13. Date(s) of enclosed photograph(s): \_\_\_\_\_ 1977

# Petition for Building Permit Under Ordinance No. 149 of the City of Pacific Grove, California

To the Honorable Board of Trustees and City Clerk of the City of Pacific Grove, California.

Application is hereby made for a permit to Build garage a building on  
 Lot No. 28 in Block No. 13 Cox Addition to Pacific

Grove Retreat Grounds, at No. \_\_\_\_\_ Street, according to Plans  
 and Specifications herewith presented, as follows:  
 (Note: If plans and specifications have been prepared a copy of same must be filled with the City Clerk  
 with this petition).

Size 14x24 Size of flues \_\_\_\_\_  
 Stories 1 Fireplaces \_\_\_\_\_  
 Foundation concrete Toilets \_\_\_\_\_  
 Basement \_\_\_\_\_ Baths \_\_\_\_\_  
 Sides \_\_\_\_\_ Outside Finish \_\_\_\_\_  
 Roof \_\_\_\_\_ Inside Finish \_\_\_\_\_  
 Floors \_\_\_\_\_ Time necessary to do the work \$100.00 material  
 Number of Rooms 1 Estimated Cost \_\_\_\_\_  
 Chimneys \_\_\_\_\_

To properly carry on said work it will be necessary to partially obstruct \_\_\_\_\_  
 Street \_\_\_\_\_ for a period of \_\_\_\_\_ days. I therefore ask permission to obstruct said

Street \_\_\_\_\_ during the period necessary for doing said work, diligently prosecuted, under the conditions and re-  
 straints provided for in Ordinance No. 149 of the City of Pacific Grove.

Dated Jan. 23-1922 Edw. D. Wright Petitioner.

# CITY OF PACIFIC GROVE

## BUILDING PERMIT

In Compliance with Building Ordinance No. 246, Zoning Ordinance No. 251, and all Ordinances Supplementary Thereto.

Location 322 Lighthouse Ave. Street

Lot 26 + 28 Block 13 Tract Retreat

Nature of Improvement single family residence Zone \_\_\_\_\_

No. Rooms 4 + bath Out buildings garage underneath

Dimensions 26' x 26'

Set Backs—Front Street 6 ft. Side street 10 ft. Side Yds. 3 ft.

No. Stories 2 Floors pine + concrete

Foundation concrete Roof comp. shingles

Walls frame Chimneys brick

Outside Finish stucco Toilets \_\_\_\_\_

Inside Finish knotty pine Remarks \_\_\_\_\_

This Permit is granted upon the condition that the undersigned owner or builder agrees to comply with all Ordinances and Regulations covering the location, construction and use of buildings.  
 This Permit may be revoked upon violation of any of said provisions.

Owner Emma R. Kean Builder (owner)

Estimated Cost \$ 1400 Date Aug 31, 1940

Fee of \$ 3.00 Paid \_\_\_\_\_ Building Inspector \_\_\_\_\_ Permit No. 1600

*JK*

*1600*

from us

7.a

1926 Ethelred M. Conway

0

No house





**PIANOS — PIANO TUNING**  
**RADIOS AND COMBINATIONS**  
**RECORDS — SHEET MUSIC**  
**BAND AND ORCHESTRA INSTRUMENTS**  
 26 W. Gabilan St. Tel. 6773

388

(1941) R. L. POLK & CO'S

**Anthony Pel**  
**FURN**  
 Stamps  
 225 El Camino Real North

PACIFIC GROVE CITY DIRE



**COUNTY ROOF SERVICE**

APPROVED JOHNS-MANVILLE APPLICATOR  
 INTERIOR TILE SALINAS  
 Tels. 7131 - 6730 - 8677 or  
 call any S. P. Milling Co. office

330 W. MARKET ST.



- Gorman Eug W (Gertrude A) clk Holman's Dept Store r315 Granite
- Goscinsky Alf C (Eliz) h136 17th
- Goulart Jos h464 Sinex av
- Gould Wm E (Ruth) (Pacific Grove Tide and Tide-Way Press) h725 14th
- Govan Jeannie W h153 14th
- Graham Harold carp r483 Laurel av
- Graham Manie clk Holman's Dept Store r Del Monte
- Graham Winifred (wid Jos) r325 Eardley av
- Grant Elmer C (Evelyn) slsmn h164 Forest av
- Grant Lillian M (wid Alf) h243 Spruce av
- Grant Maude (wid Franklin) h637 Eardley av
- GRANT ORLIN F (Ella C) (Grant's) h906 Ruth Court, Tel 7738**
- GRANT'S (Orlin F Grant) Electrical and Home Appliances, Stoves and Ranges, Radios, Fuller Paints, A Complete Electrical Service Dept, 213 Forest Av, Tel 6031 (For further information see Pacific Grove tab insert and right top lines)**
- Grantham Edwin V h725 Congress av
- Grantham Frank E (Ethel C) cbtmkr 775 Asilomar blvd
- Grasse Jas E (Marybelle) USA h431 Central av
- Gratiot Chas C (Marion P) phys r365 Ocean View av
- Gratiot Wm M (Emily C) phys h365 Ocean View av
- Graves Lorin I h226 4th
- Gray Eug (Dolores) whsmn h702 9th
- Gray Fallis M driver h119 Monterey av
- Gray Richd H lab r591 Lighthouse av
- Green Cecil pntr appr r110 20th
- Green Dalton (Virgie) jan Seventeen Mile Drive Cottage Court h926 Sinex av
- Green Harold (Nyla) h717 Granite
- Green Wm (Virginia) fisherman h106 Fountain av
- Greenfield Ernest W (Dorothy) tchr h518 Forest av
- Greenfield Wayne tchr Pub Sch r508 Fountain av
- Greenwald John C (Laurette) h981 Jewel av
- Greenwood Park Central av bet 12th and 13th
- Gregerson Whipple H (Bonita) (Williams & Gregerson) h210 9th
- Gregorio John r611 Granite
- Gregory A Ralph (Mary H) (Woodcraft Shop) h209 Grand av
- Gregory Alice F h440 Pine av
- Gregory M C cook r517 12th
- Gregory Roland H (Neva) bkpr h508 Carmel av
- Grenadiers Club 710 2d
- Grenier Jas A (Helen M) h207 15th
- Gretter Wm C (Gertrude) pharm Pease The Druggist h322 Light-house av
- Griffin Edw W (Ann) h975 Lighthouse av
- Griffin Gladys hskpr Del Mar Hotel
- Griffin Lula waiter r232 17th
- Grimes Ida W h236 Cypress av
- Grimshaw Chas H (Fern) office 582 Lighthouse av R6 h414 17th
- Grossblat Jacob (Dorothy) USA h287 Laurel av
- Grove Creamery (Chris Christensen) 162 Fountain av
- Grove Hotel W A Wescott mgr 591 Lighthouse av
- GROVE LAUNDRY (H W Thompson) 462-472 Lighthouse Av, Tel 4801**
- GROVE PHARMACY (Clyde F Dyke) Prescriptions, Stationery, Ice Cream and Cigars, 581 Lighthouse Av, Tel 6764**
- Grove Theatre Lee Naify mgr 614 Lighthouse av
- Grubbs Richd (Nellie) clk h909 Fountain av
- Grubbs Theodora r909 Fountain av
- Grubbs Wm K clk r909 Fountain av
- Guastella Lucy D r704 19th
- Guastella Nick (Carmela) carp h704 19th
- Gue Agnes J (wid J P) r618 17th
- Gulick Lawrence W (Juanita) mech h441 Pine av
- Gumm A Rav lab r220 Chestnut

- Gumm Melva E (wid A E) h220 Chest
- Gumm Woodson W lab r220 Chestnut
- Gunn Arth r131 Fountain av
- Gunn Jas r307 7th
- Gurney Wm G (Zita M) carp h152 14
- Gurry Annie C h482 Pine av
- Gustafson Elof supt F C Stolte Co r M
- Gustafson Vernon (Kay) asst res wor
- Work Center**
- Guthrie Robt (Hilda) pntr r128 19th
- Guttery Frances (wid J A) h229 1/2 17t
- Guyton Wm H (Susie) h315 Park
- Gyorgy Frank (Bertha) h661 Ocean V
- Haber Ella (wid G W) h109 11th
- Habgood Wm R driver Grove Lindy r C
- Hadden Ellen h Arena 1 w of Asiloma
- Haeuptle Margt (wid Gus) h118 Calef
- Hafner Geo (Julie) pntr h416 2d
- Hafner Robt R (Cora) h237 Pine av
- Hagler Allen h352 Pine av
- Halle Chas F (Bertha M) indywrk h5
- Hale Jody (Edna) carp h220 8th
- Hale Julia B h790 Grove Acres av
- Hall Chas H (Mattie) h114 18th
- Hall Chas M (Ethel) bldg contr 413 1
- Hall Dale F doormn Grove Theatre r
- Hall Eliza (wid J A) h505 11th
- Hall Floyd J (Iris) jan Grove Theatr
- Hall Gail V r161 10th
- Hall Geo V (Mabel C) carp h161 10th
- Hall Geo V jr carp r161 10th
- Hall Iris L usher Grove Theatre r135
- Hall J A h109 16th
- Hall Jas L (Mary E) h316 17th
- Hall Kath M r172 Pacific av
- Hall Letitia S nurse r406 Laurel av
- Hall Lily H h159 Pacific av
- Hall Mae M Mrs h172 Pacific av
- Hall Mary M maid h213 18th
- Hall Richd F (Violet) USA h219 1/2 4
- Hallgren Gustaf (Jenny) carp h141 1
- Hallman Bertha (wid Ralph) r662 Li
- Hallock Geo M (Alice) whsmn h648 1
- Hamil Arth C (Julia F) clk h155 14t
- Hamilton Ray F (Virginia L) pntr h
- Hamilton Wm J (Sophie) USA h712
- Hammock Asa D (Alice E) h155 12th
- Hamrick Delford L clk Holman's Dep
- Hanna Curtis M (Gerita) USA h238
- Hannaberry John J (Mae) carp h15
- Hanner Nellie M (wid C B) h1120 Si
- Hansberry Jesse M h158 17th
- Hansen Eliz A (wid O C) h471 Asiloi
- Hansen Frank A gdnr h208 Carmel
- Hansen Geo h414 8th
- Hansen Geo clk r483 Laurel av
- Hansen Hans C h124 Caledonia av
- Hansen Len (Imogene) driver h794 1
- Hansen Norman (Dena) mgr Centra
- Hanson Earl B (Moselle) USA h609
- Hanson J Wm electn Langlais Elec (
- Hanson Lawrence M (Pauline) USA
- Harbison Robt W (Helen M) estima
- Harbst Frank (Estelle) clk h231 Asi
- Hardie Raymond A (Carol F) lab h5



Pacific Grove Tribune, CA May 9, 1947 p1

**W.C. Gretter, Pioneer Grove Resident, Dies of Heart Attack May 3  
Community Mourns Loss of Genial, Well-Known Druggist Who  
Succumbed At his Home Saturday Afternoon**

With the death last Saturday in his home from a heart attack, of William Cecil Gretter, 74, Pacific Grove lost a well-known and much loved resident, and his death saddened the community. Mr. Gretter was born in Lodi, California, and moved later with his family to Watsonville. About 67 years ago, he had his first sight of the Monterey Peninsula when he and a large group of relatives came to the Peninsula on a camping trip. In 1888 his immediate family moved to Salinas, and for a time lived in Chualar. His father became principal of the Pacific Grove grammar school in 1889 and the family moved here to stay. Mr. Gretter lived on the Peninsula from that time on, except for the period when he was at the University of California and Northwestern Chicago. His first job in a drug store was with James Moore in Monterey, and during the years that followed he was associated with a number of drug stores on the Peninsula, for the last 15 years at the Pesse drug store in the Grove where his pleasant manner and ability as a "teller of tales" endeared him to many. Prior to his going away to school, Gretter, who was not in too good health at the time, decided that he needed outdoor life to improve his health, and went to work as a cowboy for the Pacific Improvement company, which later became Del Monte Properties. During this period young Gretter had some of the most exciting experiences of his life. In 1900 Mr. Gretter was a charter member of the Grove Volunteer fire department and chief of the department from 1906 until 1914. Mr. Gretter was preceded in death by his wife, who passed away the first part of March. He is survived by a daughter, Mrs. L. H. McPhail, and a granddaughter, Margaret Susan McPhail of Pacific Grove, and a brother, George K. Gretter of San Francisco. Rev. T.J. Barkle officiated at the funeral services, which were held Tuesday afternoon at the Paul Mortuary. Burial was in El Carmelo cemetery. Pallbearers were Dr. J.J. Williams, Ed. R. Martin, Dan Freeman, Clarence Trine, Charles Olmsted and Niles Pease



**PALACE STATIONERY**  
AND  
**COAST COUNTIES BUSINESS SUPPLY**  
STATIONERY · OFFICE SUPPLIES & EQUIPMENT  
403 Alvarado St. MONTEREY Tel. 5885



248 (1947) R. L. POLK & CO'S

**T. A. DORNEY FUNERAL HOME**  
825 ABREGO ST. MONTEREY TEL. 4145

Buckner Wm (Mona) h1051 Ocean View blvd  
Buda Rudolph (Mozelle) marine eng h921 Ripple av  
Buelna Louis fishermn r391 Central av  
Bullene Leo S (Eunice) h689 Ocean View blvd  
Bullock Chester R (Hattie D) clk Friendly Mkt h159 12th  
Bullock Eliz Mrs restrwkr r569 1/2 Lighthouse av  
Bullock Hattie L Mrs clk Pease The Druggist r159 12th  
Bullock Mabel Indwkr r569 1/2 Lighthouse av  
Bunce Grace S (wid Harry) clk Holman's Dept Store r561 Junipero av  
Bunkleman Adolph L (Jenny) barber h420 Lobos av  
Bunkleman Jennie M dept mgr Holman's Dept Store r420 Lobos av  
Bunnell Jos A (Ollie) jan h209 Wood  
Bunnell Wm A Rev evangelist r209 Wood  
Burchett Pearl tchr Pub Sch r239 Granite  
Burchett Wm Rev h239 Granite  
Burgh Laura r132 18th  
Burgoyne Effie r617 Lobos av  
Burke Bettye (wid Wm) h122 Caledonia av  
Burke Mae E clk Fort Ord h215 6th  
Burke Ralph E (Josephine) USA h404 Park  
Burkham Harold (Elnora M) carp h220 9th  
Burleson Clarence (Lillian) h135 6th  
Burlingame Napoleon B (Nellie D) h156 Monterey av  
Burnam Jack A (Jean) slsmn h312 19th  
Burnam Virgil G (Martha R) h1004 Ripple av  
Burnett Anna M (wid W E) h124 1/2 Grand av  
Burnett Wm F (Coranna T) h139 10th  
Burnette Leola H (wid O D) h110 14th  
Burton Francis H (Helen M) mach h608 9th  
Burton Geo r Del Mar Hotel  
Burton Morris R (Rose) dr h871 Laurel av  
Burton Ralph E (Lucille M) clk Central Supp Co h918 Sinex av  
Burton Trewhman H (Cathryn) dept mgr Holman's Dept Store r17 Mile Auto Court  
Burwell Shelton M (Evelyn B) h632 Hillcrest av  
Bush Claude (Gladys) mech Donald Busha h622 Congress av  
Busha Donald (Betty) auto repr 226 Forest av h621 Pine av  
Bushell Clarence (Amelia) fishermn h405 Eardley av  
Bushell Geo E h508 9th  
Bushey Edna M Mrs h322 Lighthouse av  
Bushey Lucille L sten r322 Lighthouse av  
Bussey John R (Doris G) h415 Fountain av  
Bussey Mable (wid John) h223 Fountain av  
Butler Desmay (wid Pink) h310 9th  
Butler Grayce L Mrs h313 3d  
Butler J Wesley (Maude) whsmn h891 Divisadero  
Butler John R (Wilma) mech h239 Lobos av  
Butler Maurice W (Claire) whsmn h891 Divisadero  
Butler Vincent R (Audrey) printer h190 Pine av  
Butterfield Evelyn r128 19th  
Buttle Harry W eng r322 Gibson av  
Buttle Walter C (Emma A) h822 Gibson av  
Button Wm L (Alva) h118 10th  
Buttram Ed (Loreen) h345 Laurel av  
Byers Emma r1017 Jewell av  
Byers Robt S (Mildred M) h1030 Ripple av

**McDONAL**  
REF  
COMMERCIAL -  
560 Fremont St.

PACIFIC GR

Byers Wm H (Adelaide)  
Bylling Peter K (Berth)  
Bylling Stanley P slsm  
Cabral Anthony M h12  
Caesar Alice A clk Publ  
Caesar Ella B (wid W J)  
Cahill Rolande Mrs clk  
Cain Alfd USMM r148  
Cain Elsie h148 Pacific  
Cain Klement H (Glor)  
Cain Robt USA r148 P  
Cairns Hubert (Ragna)  
Caledonia Park Pacific  
Calhoun Donald (Jane)  
Calhoun Retta R dept  
**CALIFORNIA WATER**  
580 Lighthouse Av  
Calkins Veda H Mrs h2  
Callender Gylda Mrs r  
Camara John h45 Asik  
Camm Anne D (wid F)  
Camp Frank (Isa) (El)  
Campbell Dwight (Dor)  
Campbell Edw (France)  
Campbell Fletcher r22  
Campbell Johanna (wi)  
Campbell John D (Sar)  
Campbell Rose E (wid)  
Campos Manuel T (Lu)  
Canaya Jos R (Lottie)  
Cannon John A (Pauli)  
Cantor Morris (Edna)  
Capon Edmund L (Wi)  
Cardoza Isabella B Mr  
Cardoza Manuel F gdr  
Carey Edith A sten r41  
Carey Mary r414 Cong  
Carey Melvin S (Ruth)  
Carkin Eliz Mrs h1265  
Carling Remola clk H  
Carlini Dominic dr r2  
Carlson F Waldemar (C)  
Carlyle Fredk (Grace)  
Carmean Alice Mrs tel  
Carmichael Wm (Con)  
Carmody Alice T slsw  
Carney Mary J (wid J)  
Carney Robt T (Millie)  
Carnig Paul phys 1001  
Carpenter Audrey C (C)  
Carpenter Carrie M (C)  
Carpenter Chas J (Jer)  
Carpenter Chas M (E)  
Carpenter Grant (My)  
Carpenter John J (Mi)  
Carpenter Louis C (G)  
Carpenter Minnie A N

**ERNEST F. MOREHOUSE**  
INSURANCE ANALYST and REALTOR  
Ocean Ave. opp. Library P.O. Box Drawer R Carmel Tel. 333

**CARM**  
REAL ESTA  
Ocean Ave.

# LUMBER

## METAL

Phone 2-0474



### Realtors - Insurance

WRIGHT S. FISHER, Mgr.

Commercial and Residential Properties

Loans - Management - Rentals



720 Munras Ave.  
Monterey

Phone 2-5821

#### PACIFIC GROVE CITY DIRECTORY (1953)

'S

v  
10th

1  
n h429 Hardley av  
Gibson av  
een Mile dr

an View blvd  
563 1/2 Lighthouse av  
v  
Hillcrest av  
Monte Naval Sch h240

av  
Gibson av  
Sch h439 Lighthouse av

7 Laurel av  
nut

arn h313 2d  
Lbr h213 15th  
av

Beauty Shop) h208 13th  
Presidio blvd  
13th  
h210 Cedar  
op h155 13th  
op) h210 Cedar  
2201 Irving  
av  
Walnut

Gibson av  
h608 Granite  
Gibson av  
onstn h603 Junipero av  
Gibson av

Sch of Christ Scientist

man's h507 13th  
ry h159 Monterey av  
340 Seventeen Mile dr  
1 h305 12th  
av

Pine av

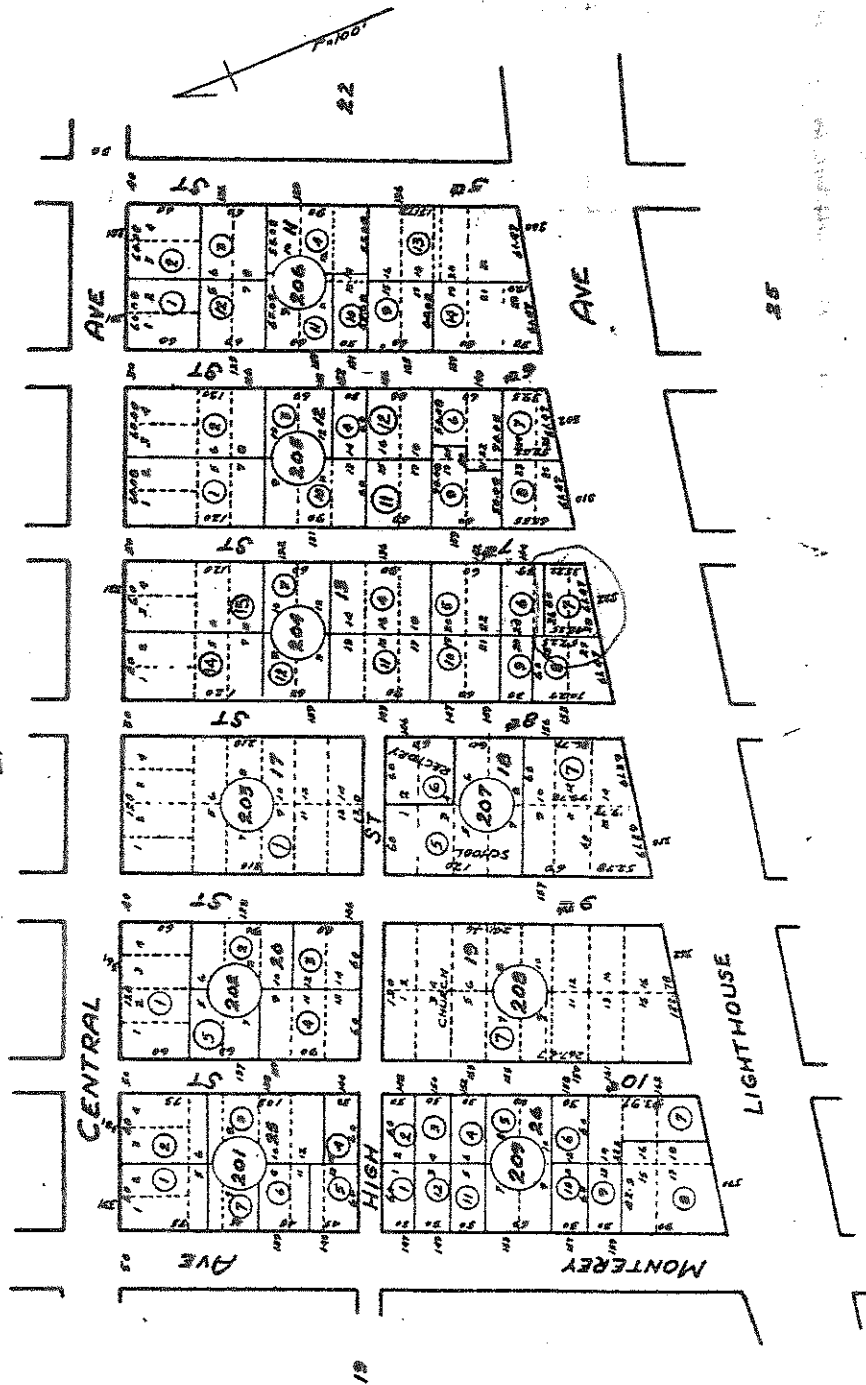
h285 Pine av  
hers, 604 Mission, San

General Repairs, Tune-  
attories, Complete Re-  
roducts, AAA Towing  
2-9528

104 Ripple av

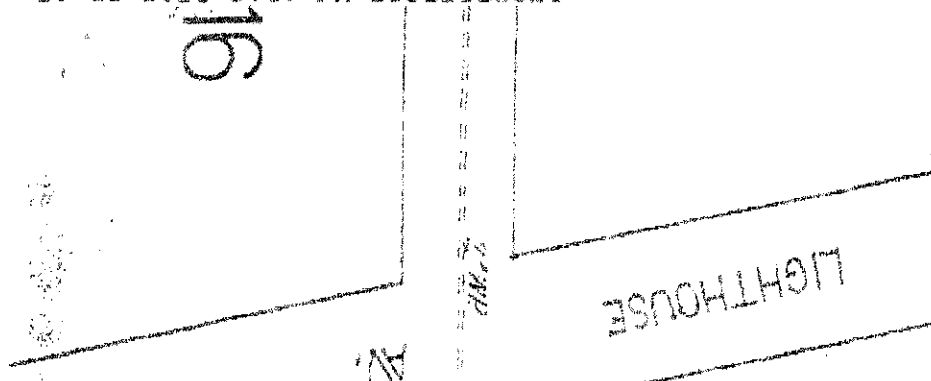
Claflin Morris F (Georgia H) h110 7th  
 Claque Jos C (Violet) meatctr Friendly Meat Mkt r Carmel  
 Clark Elsa S (wid Ivan) h628 Pine av  
 " Fred (Jean) h323 Hardley av  
 " Fred P (Gene S) USN h390 Junipero av  
 " Jean studt r209 14th  
 " Lawrence H (Alice S) asst Postmaster r205 14th  
 " Robt H (Barbara) coach Pub Sch h906 Short  
 " Roy E h367 Junipero av  
 " Theo K (Ted K Clark & Co; Mont) h850 Maple av  
 Clarke Arth C (Augusta L; East Side Grocery) h209 14th  
 " John E h511 1/2 Lighthouse av  
 Claunch Laurene r782 Pine av  
 " Mildred (wid Stanford) h782 Pine av  
 " Warren r782 Pine av  
 Clay Louis E (Ella L) h389 Gibson av  
 Cleaton Thos L (Sandra L) h1029 Ocean View blvd  
 Clemens Geo M (Violet A) slsmn Monterey Ins Agcy h403 Park  
 Clement Milton R (Vivian) emp Granite Constn h309 Prescott la  
 " Val C (Mary R) tchr Pub Sch h508 19th  
 " Vivian Mrs asst display mgr Holman's h309 Prescott la  
 Cleveland Eliz (wid John L) h308 13th  
 Clifford Rose D (wid Wm F) cnrywkr h106 13th  
 Clift Brazoria S (wid Roy D) sec State Farm Ins r2505 David av  
 Clinton Minnie A Mrs nurse h316 9th  
 Clothier Deane lab r516 Congress av  
 " Elbie E (Helen) greenskeeper City Golf Course h516 Congress av  
 Cloud Lois P (wid Edgar) h635 Gibson av  
 Clough Georgia M Mrs chkr Purity Store h861 Lighthouse av  
 Cloward Jas L (Bertha L) clk h166 Forest av  
 Cloyd D R (Dickie) USA h239 Junipero av  
 Coats Howard Indrywkr Grove Lndry r1014 Manzanita av  
 Cobb Amos (Maude E) slsmn Holman's h660 Hillcrest av  
 Coble Benita L Mrs clk USNavSch h403 Central av  
 " John B studt r403 Central av  
 " Thos H studt r403 Central av  
 " Wanetta C (wid Claude) mgr Peninsula Shirt Lndry h322 Light-  
 house av  
 Cocho Ruth M forwn Grove Lndry r430 Laurel av  
 Cochran Horace J (Beryl) h130 19th  
 Cockrell Mortimer J (Edna P) h1069 Jewell av  
 Cockerum Lillian A (wid Aug L) h964 Egan av  
 Codiga Steph M (Pearl) custdn PO h217 2d  
 Coffin Edwin C (Ruth B) tchr Pub Sch h630 Junipero av  
 Cogley Lloyd D (Sue M) artist h223 Chestnut  
 Cogswell Albert H (Lora E) h151 12th  
 Coleman Apartments 211 1/2 Forest av  
 " Cecil R (Lotus) concrete contr 811 Gibson av h do  
 " H David (Rosetta K) atndt City Hall Serv Sta h211 1/2 Forest av  
 " Patk H (Allie L) h119 Grand av  
 " Richd clk Carmel Gro r1019 Balboa  
 " Wm A (Jane) mech h119 Grand av  
 Coletta Vincent H Rev (Adelia) pastor St James Episcopal Church  
 h388 Central av  
 Colley Frances M h725 Laurel av  
 Collin E N h85 Spray  
 Collings Allys B tchr Pub Sch h847 Junipero av  
 Collins Amy nurse h1075 1/2 Lighthouse av  
 " Carroll W (Nora B) USA h239 Junipero av  
 " Claude (Leona) pntr h115a Grand av  
 " Henry C Rev (Frances M) h108 13th  
 " K Gene (M Dorothy) linoleum lyr Bill Coyle Flrs h729 Hillcrest av  
 " Paul W (Mary E) lab Fort Ord r410 Monterey av  
 " Wm (May) h306 10th  
 Colman Clifford H (Marion; El Humidor Smoke Shop) h313 Walnut

TAX CODE AREA 400

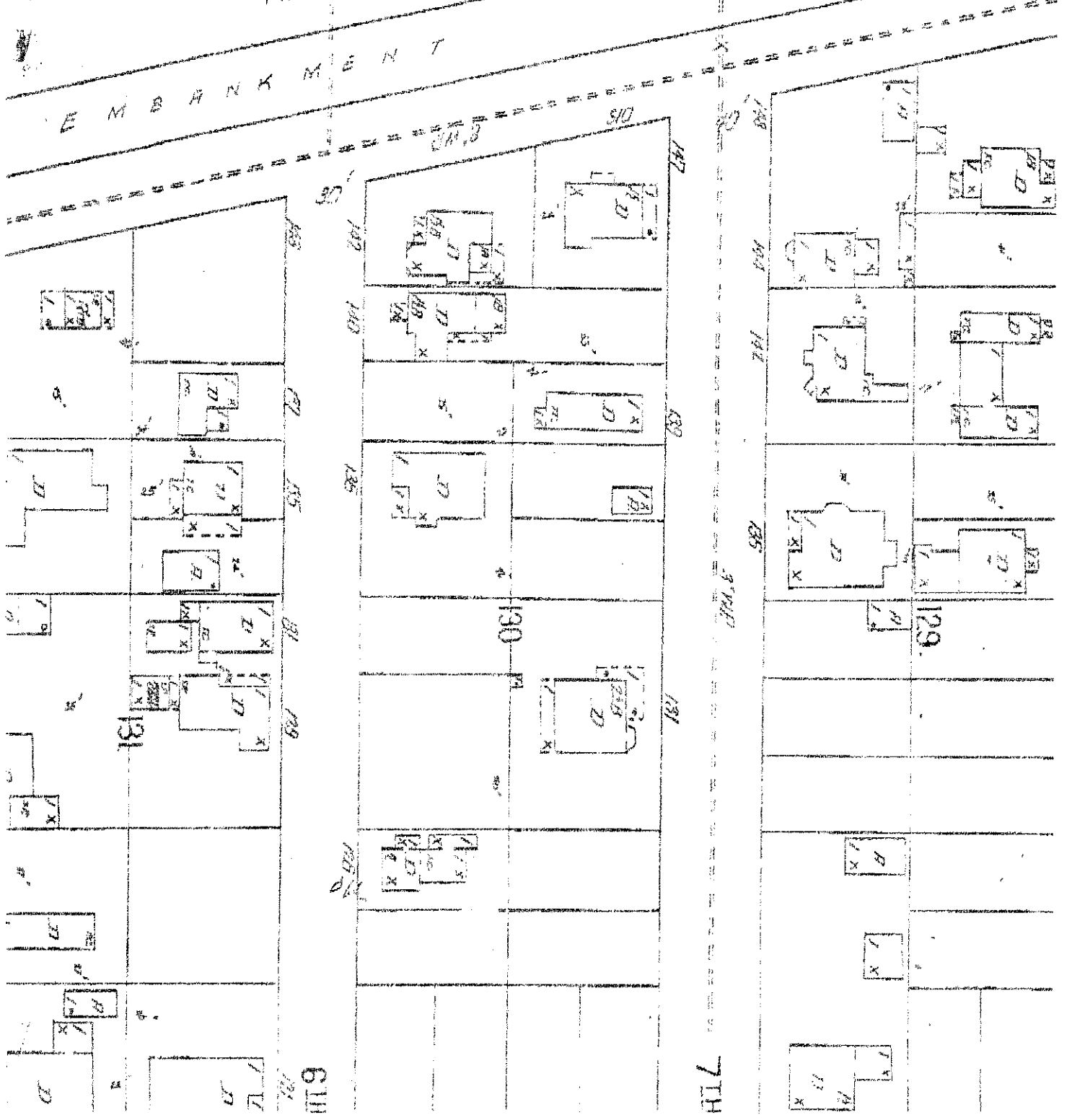


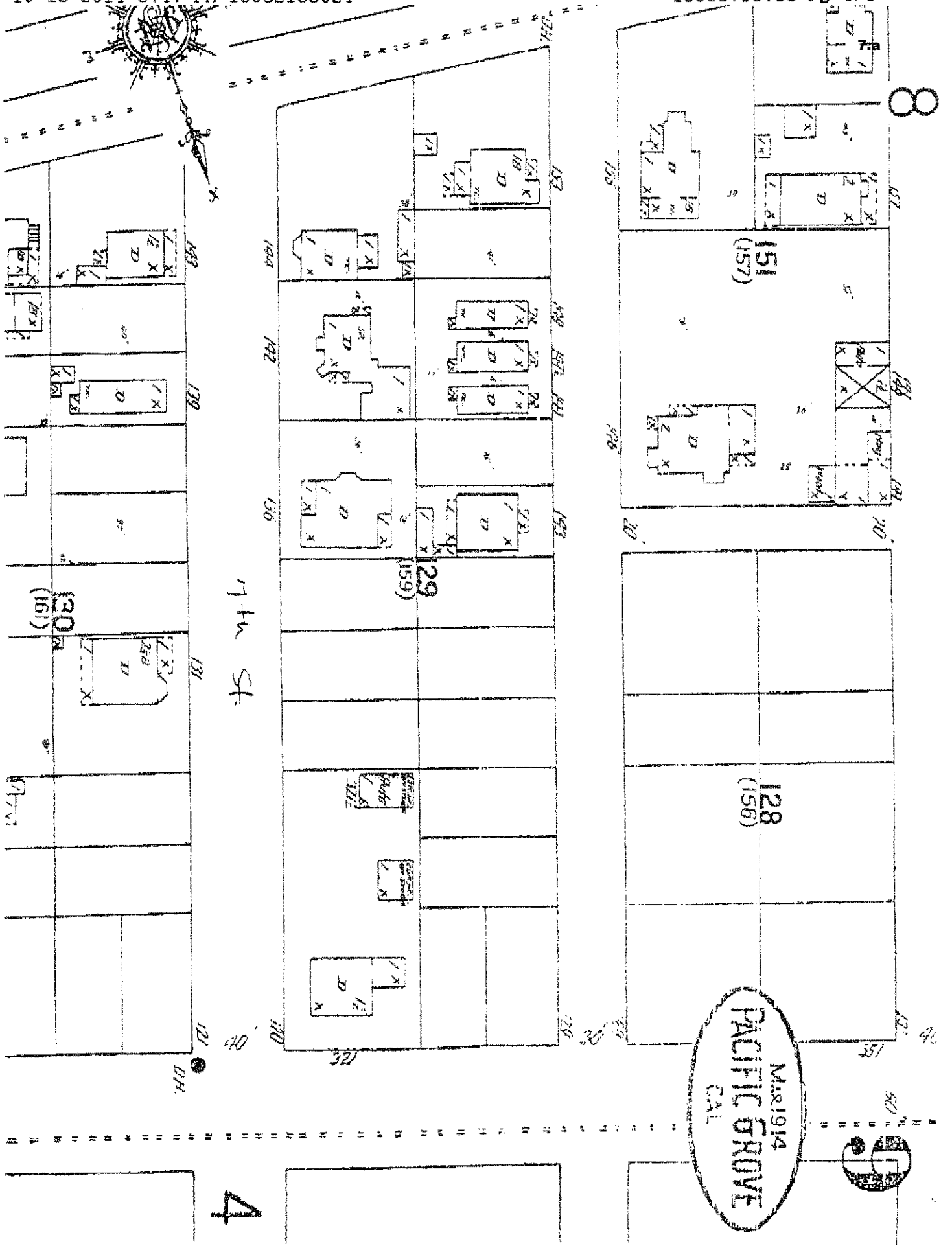
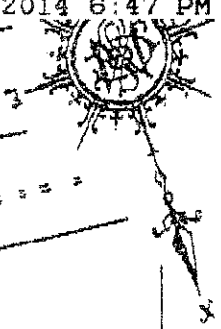
PACIFIC GROVE RETREAT  
BLKS 11, 12, 13, 17, 18, 19, 20, 25, 26

16



1926





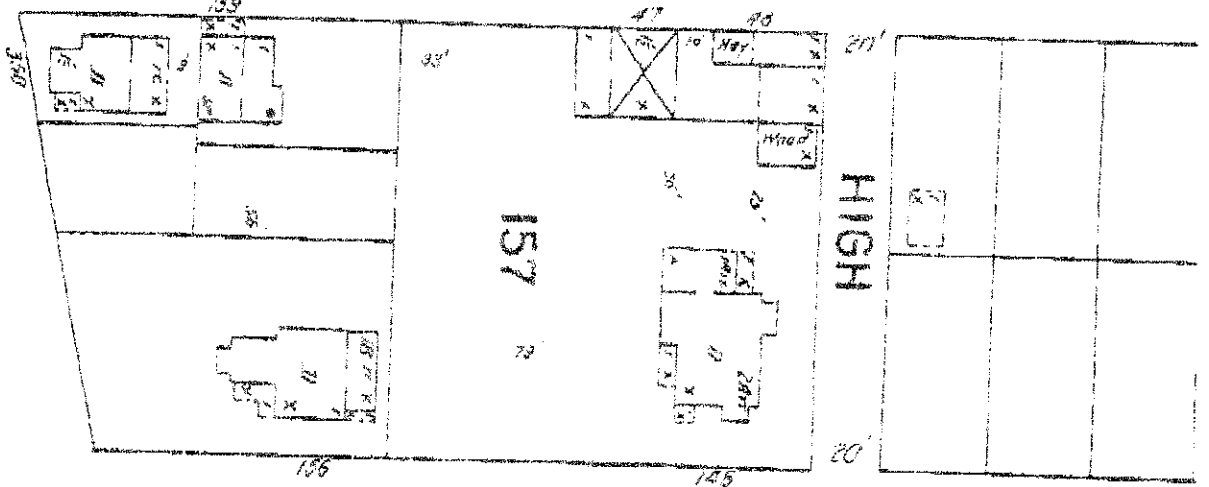
PACIFIC GROVE  
CAL  
Mar 1914

4

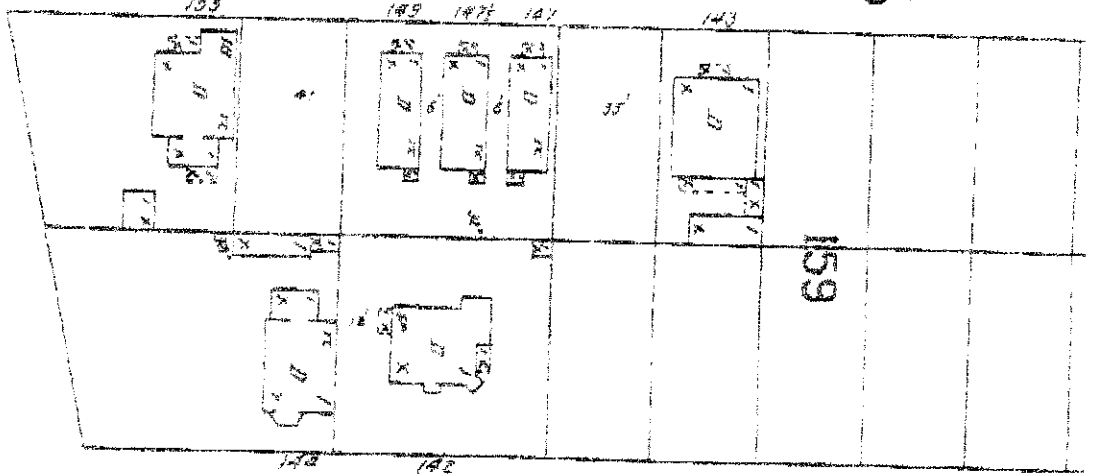
8



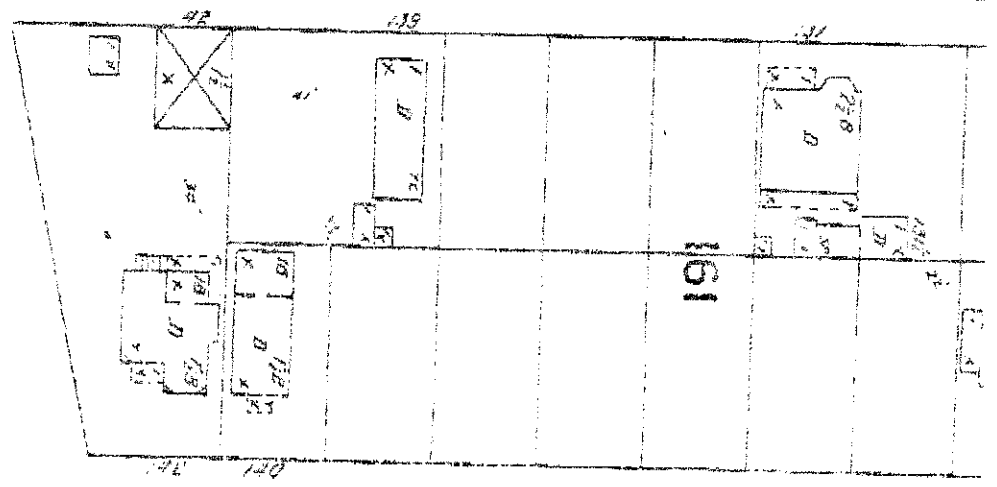
9<sup>TH</sup> 7.a



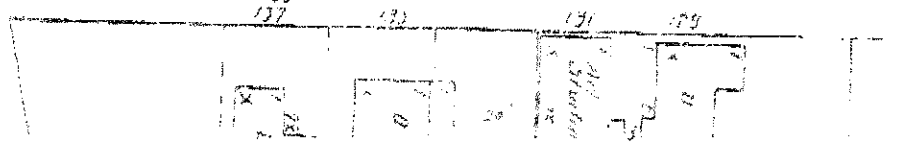
8<sup>TH</sup>



7<sup>TH</sup>

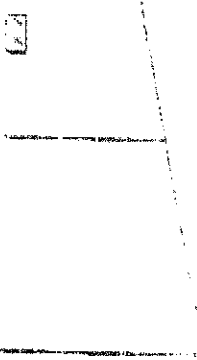


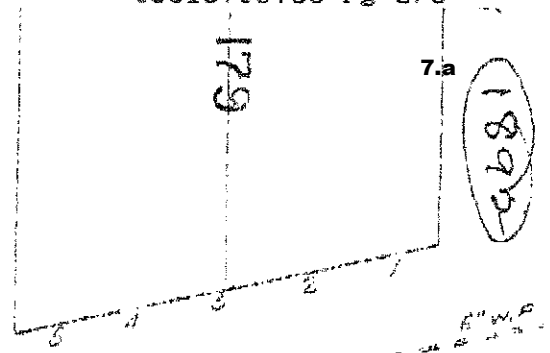
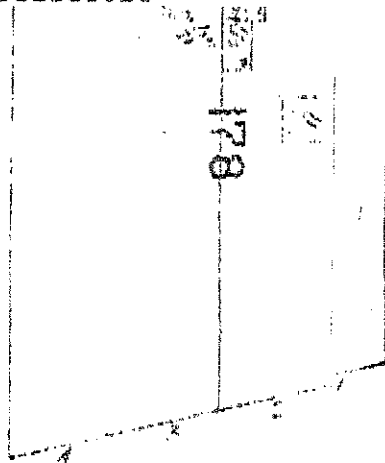
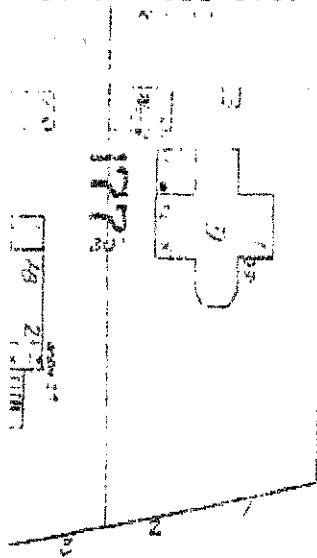
6<sup>TH</sup>



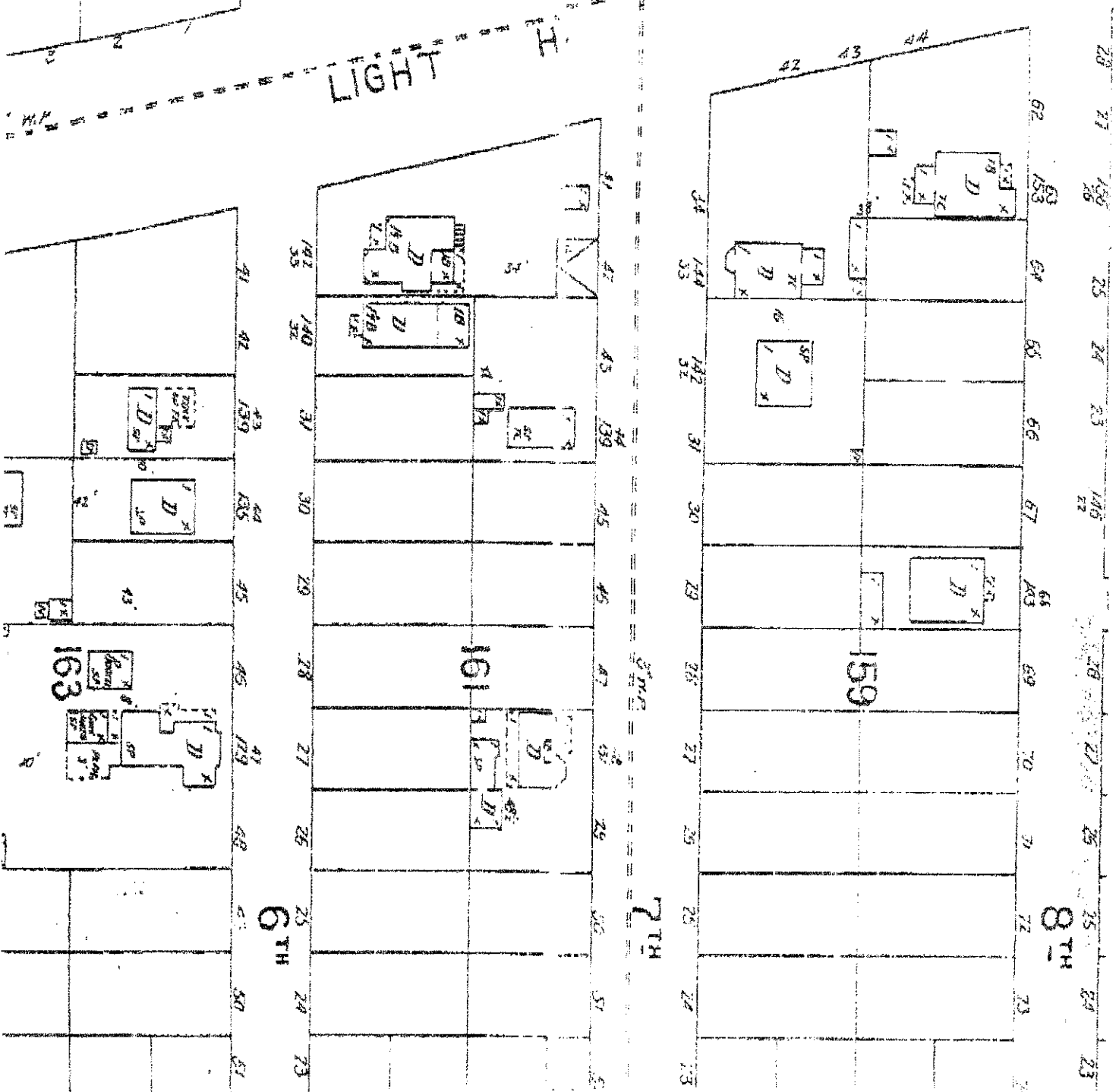
LIGHT HOUSE

1905





1892a



6TH

8TH

8TH





## CITY OF PACIFIC GROVE

Community Economic Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

T : 831.648.3183 • F : 831.648.3184 • www.ci.pg.ca.us/cdd

### ARCHITECTURAL PERMIT 14-547

**FOR A PROPERTY LOCATED AT 322 LIGHTHOUSE AVE TO ADD A ROOF DORMER ON THE WEST ELEVATION ALLOWING FOR A SECOND STORY BEDROOM, A SECOND FLOOR DECK BALCONY ON THE EAST ELEVATION, AND A NEW 2<sup>ND</sup> STORY WINDOW TO AN EXISTING DUPLEX.**

#### FACTS

1. The subject site is located at 322 Lighthouse Ave, Pacific Grove, CA 93950 APN 006-204-007
2. The subject site has a designation of High Density (29.0 DU/ac) on the adopted City of Pacific Grove General Plan Land Use Map.
3. The project site is located in the R-3-PGR zoning district.
4. The subject site is 2520.19 square feet and is situated on a corner lot.
5. The subject property is situated within the Area of Special Biological Significance Watershed Overlay.
6. The subject site is developed with a duplex.
7. A Focused Phase II report was completed by a qualified historic consultant on 10/29/2014.
8. This project has been determined to be CEQA Exempt under CEQA Guidelines 15301/15303.

#### FINDINGS

1. The proposed development will meet the development regulations set forth in the R-3-PGR zoning district including setbacks and height requirements. The proposed deck is in conformance with Section 23.26.070 of the Pacific Grove Municipal Code as it does not extend more than 4 feet into the setback area and it is not closer than three feet to the property line and;
2. The architecture and general appearance of the completed project is compatible with the neighborhood because the proposed exterior will be compatible with the size, scale and proportions of the existing residence and other residences in the neighborhood, in that the proposal is consistent with Architectural Review Guidelines No.'s 7, 27, 28, and 31 and;
3. The completed project will neither be detrimental to the orderly and harmonious development of the city nor impair the desirability of investment or occupation in the neighborhood because the project will be improving the subject property, and;
4. The focused Phase II Historic Report was completed by Kent Seavey and found that the proposed project is in conformance with the Secretary of the Interior's Standards for the Treatment of Historic Properties under the Standard for Rehabilitation and;
5. The Staff have been guided by and made reference to applicable provisions of the Architectural Review Guidelines in making its determinations on single-family residences.

#### PERMIT

Architectural Permit (AAP) 14-547 to allow:

A property located at 322 Lighthouse Ave to add a roof dormer on the west elevation allowing for a second story bedroom, a second floor deck balcony on the east elevation, and a new 2<sup>nd</sup> story window.

#### CONDITIONS OF APPROVAL

1. **Permit Expiration.** This permit shall expire and be null and void if a building permit has not been applied for within one (1) year from and after the date of approval. Application for extension of this approval must be made prior to the expiration date.

2. **Construction Compliance.** All construction must occur in strict compliance with the proposal as set forth in the application, subject to any special conditions of approval herein. Any deviation from approvals must be reviewed and approved by staff, and may require Architectural Review Board approval.
3. **Terms and Conditions.** These terms and conditions shall run with the land, and it is the intention of the CDD Director and the Permittee to bind all future owners and possessors of the subject property to the terms and conditions, unless amended. Amendments to this permit may be achieved only if an application is made and approved, pursuant to the Zoning Code.
4. **Public Works, Fire and Building.** Review and approval by the Public Works, Fire and Building Departments are required prior to issuance of a building permit. Work taking place in the public right-of-way shall require an encroachment permit prior to issuance of the building permit.
5. **Conformance to Plans.** Development of the site shall conform to approved plans for “Delany Residence” dated 11/12/2014, on file with the Community Development Department and to the Building Code, with the exception of any subsequently approved changes.
6. **Tree Protection Standards During Construction:** Pursuant to Municipal Code Chapters 12.20 and 12.30, and the *Urban Forestry Standards*, all trees that are otherwise protected and will be impacted as a result of Development, both proposed for pruning or removal and where the development will impact the critical root zone of the tree are protected. Prior to issuance of the building permit, the Project Arborist shall review grading, drainage, utility, building and landscape plans to determine impacts to individual Trees, to determine required minimum Tree protection standards during construction.
7. **Lighting:** All exterior lighting must conform to Architectural Review Guidelines Nos. 10,11,12
8. **Historic.** Any historic elements removed from the historic dwelling, including but not limited to windows, and doors, must either be reused on-site or stored for future use, to the greatest extent practicable.

**NOW, THEREFORE, BE IT RESOLVED BY THE ARCHITECTURAL REVIEW BOARD OF THE CITY OF PACIFIC GROVE:**

1. The Board determines that each of the Findings set forth above is true and correct, and by this reference incorporates those Findings as an integral part of this Permit.
2. The Board authorizes Approval of AP 14-547 to allow a property located at 322 Lighthouse Ave to add a roof dormer on the west elevation allowing for a second story bedroom, a second floor deck balcony on the east elevation, and a new 2<sup>nd</sup> story window.
3. This permit shall become effective upon the expiration of the 10-day appeal period.
4. This permit shall not take effect until the owner acknowledges and agrees to all terms and conditions and agrees to conform to and comply with those terms and conditions.

Passed and adopted at a regular meeting of the Architectural Review Board of the City of Pacific Grove on the 25<sup>th</sup> Day of November, 2014, by the following vote:

AYES:

NOES:

ABSENT:

APPROVED:

\_\_\_\_\_  
Jim McCord, Chair

The undersigned hereby acknowledge and agree to the approved terms and conditions, and agree to fully conform to, and comply with, said terms and conditions.

\_\_\_\_\_  
Amy Delaney, Owner

\_\_\_\_\_  
Date







RECEIVED

NOV - 3 2014

CITY OF PACIFIC GROVE  
COMMUNITY DEV DEPT

2x6 WD TOP  
CAP 7.a

1x4 RAIL

4x4 POST  
Ø 5'-6"

3'-6"

2x2  
BALUSTER  
Ø 4" O.C.

2x6 DECK'G

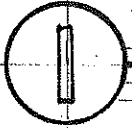
4"

2x8

6x8 BM.

6x6 POST  
W/ 3/4" CHAMFER

CONC. BASE



DECK AND RAIL

11'-0"

NOV. 1, 2014

Plato-Delaney-Lawrence Duplex  
322 Lighthouse Avenue  
Pacific Grove, California

COMPOSITION  
SHINGLES  
TYP.

12  
4

7.a

1x WD.  
FASCIA

WD. AWNING  
WIND. SEE  
ELEV. BELOW

EXIST.  
ROOF

12  
8

EAVE

WD. AWNING  
WINDOW W/  
SINGLE GLAZE

1x4 WD.  
TRIM

2x WD.  
SILL

1x2 WD.  
TRIM

ELEVATION

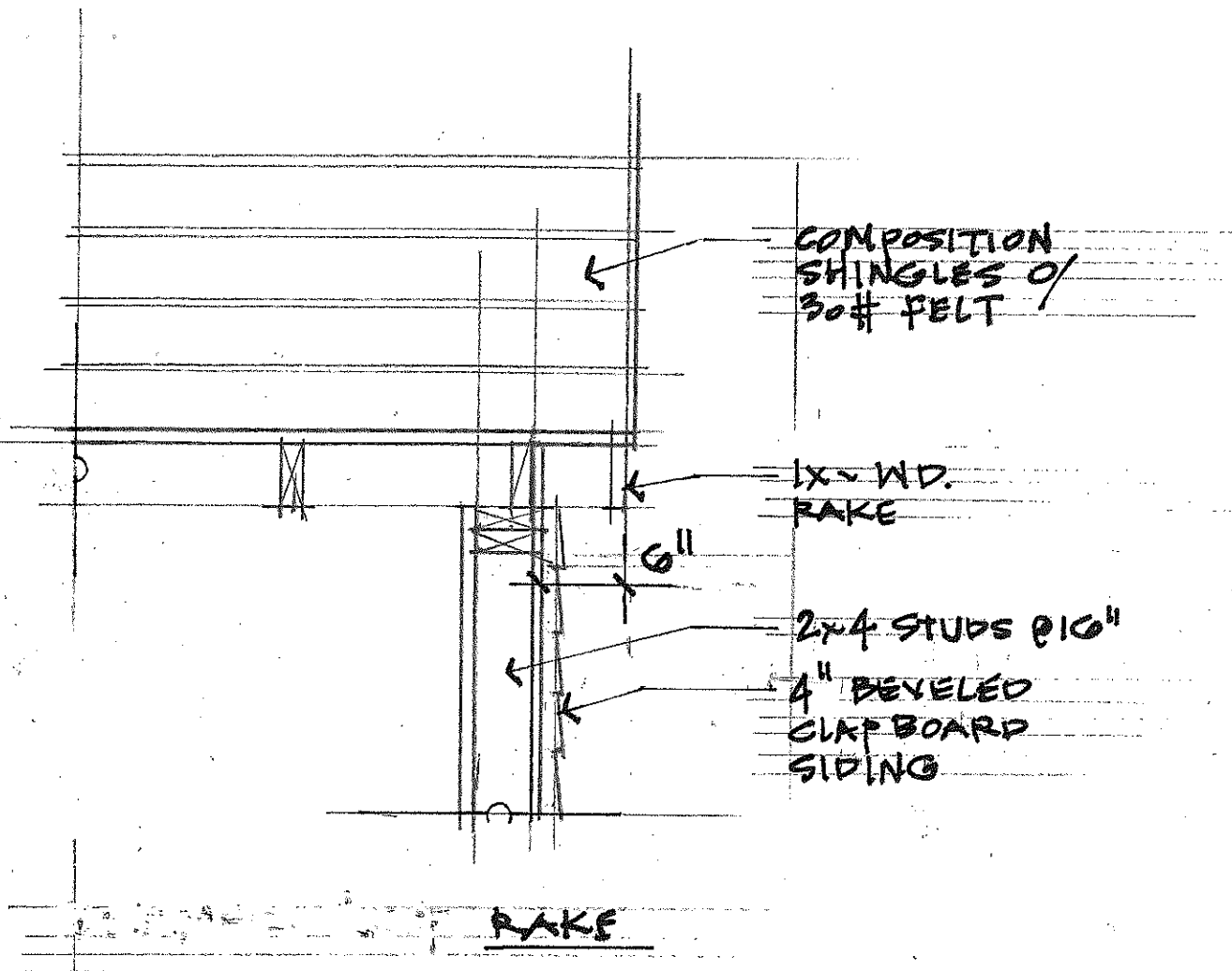


DORMER ROOF / AWNING WIND.

1" = 1'-0"

NOV. 1, 2014

Plato-Delaney-Lawrence Duplex  
322 Lighthouse Avenue  
Pacific Grove, California



COMPOSITION  
SHINGLES O/  
30# FELT

1x4 WD.  
RAKE

2x4 STUDS @ 16"

4" BEVELED  
CLAP BOARD  
SIDING

RAKE



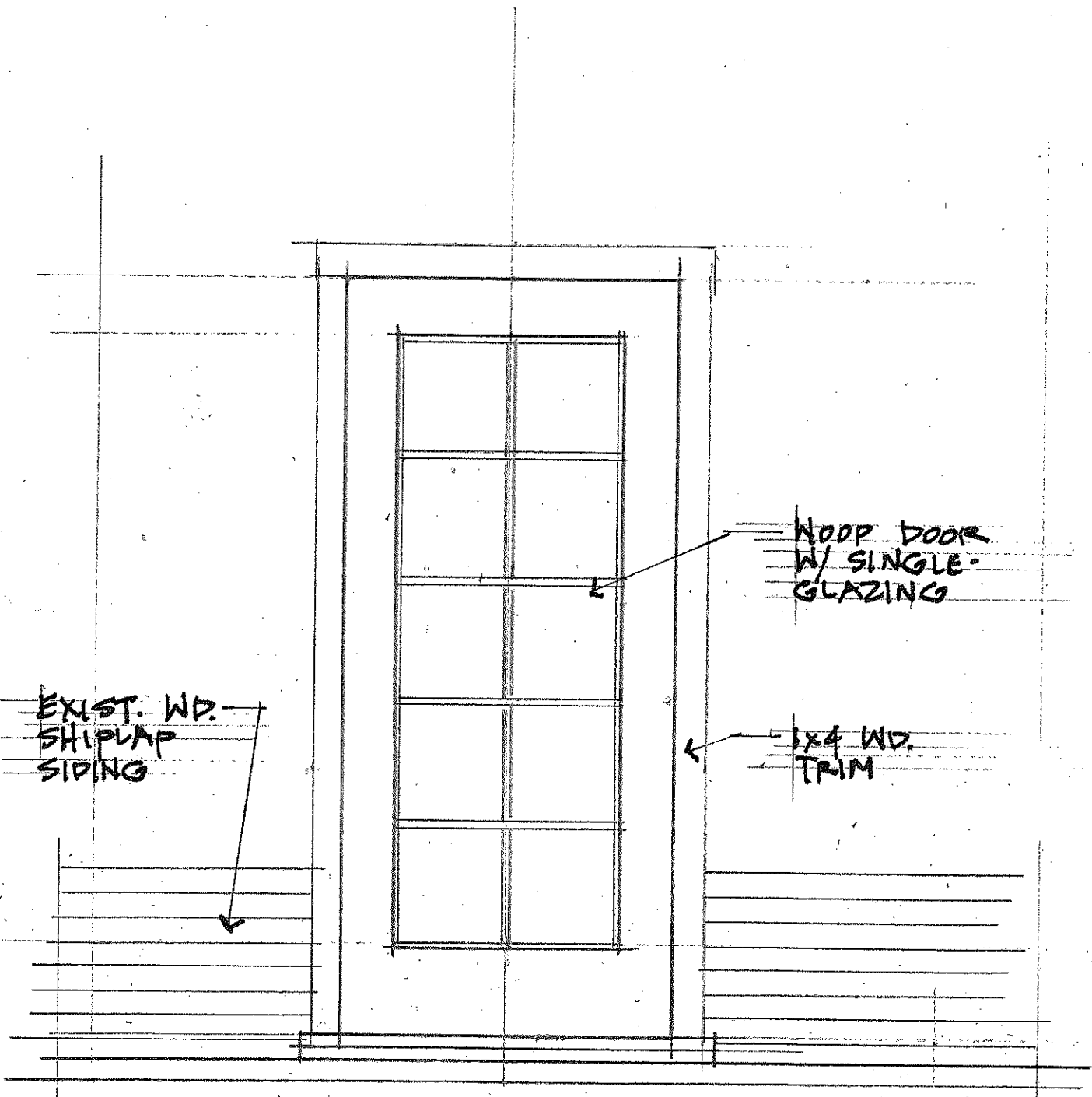
**DORMER ROOF**

1" = 1'-0"

NOV. 1, 2014

Plato-Delaney-Lawrence Duplex  
322 Lighthouse Avenue  
Pacific Grove, California



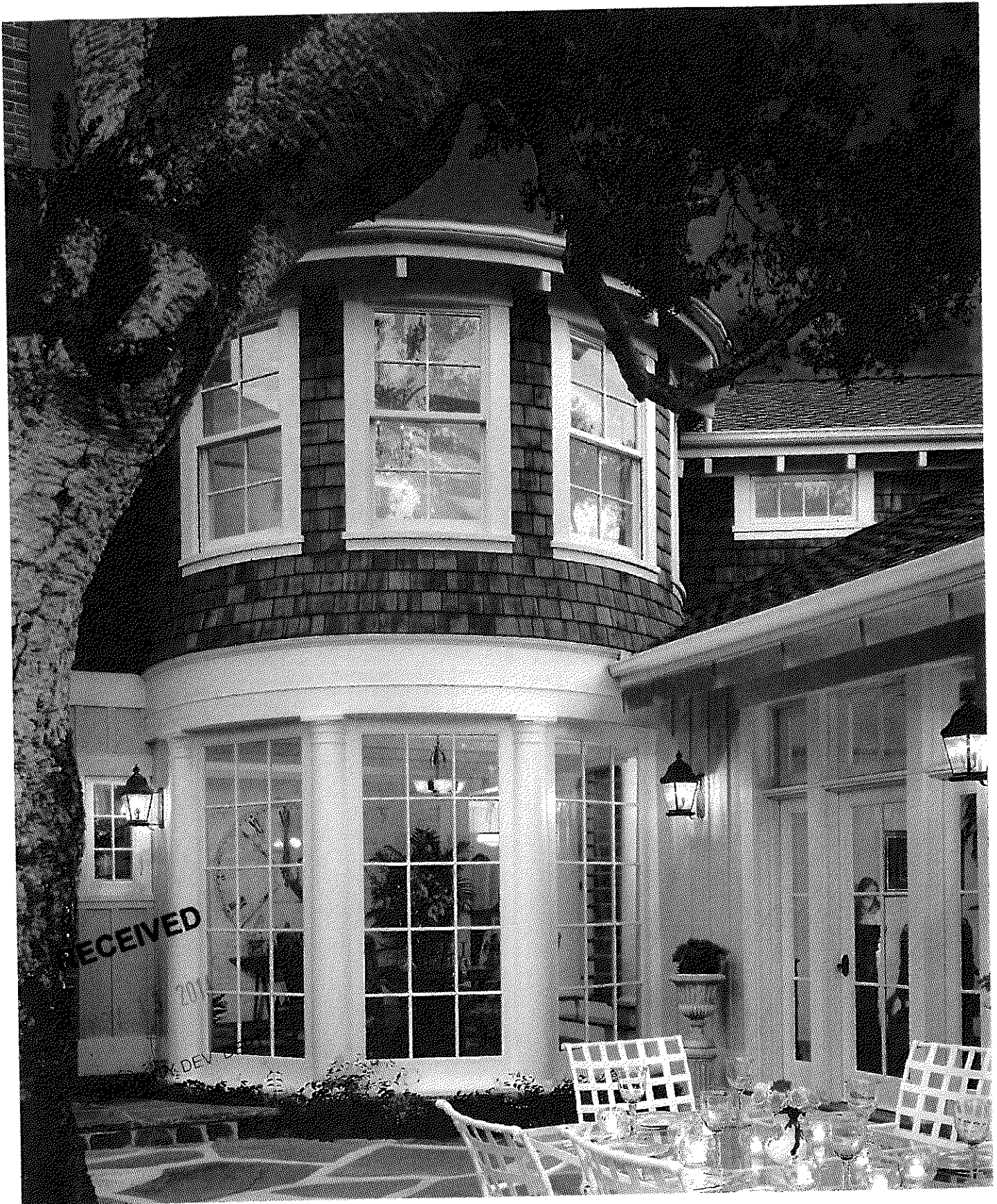


# EXTERIOR DOOR

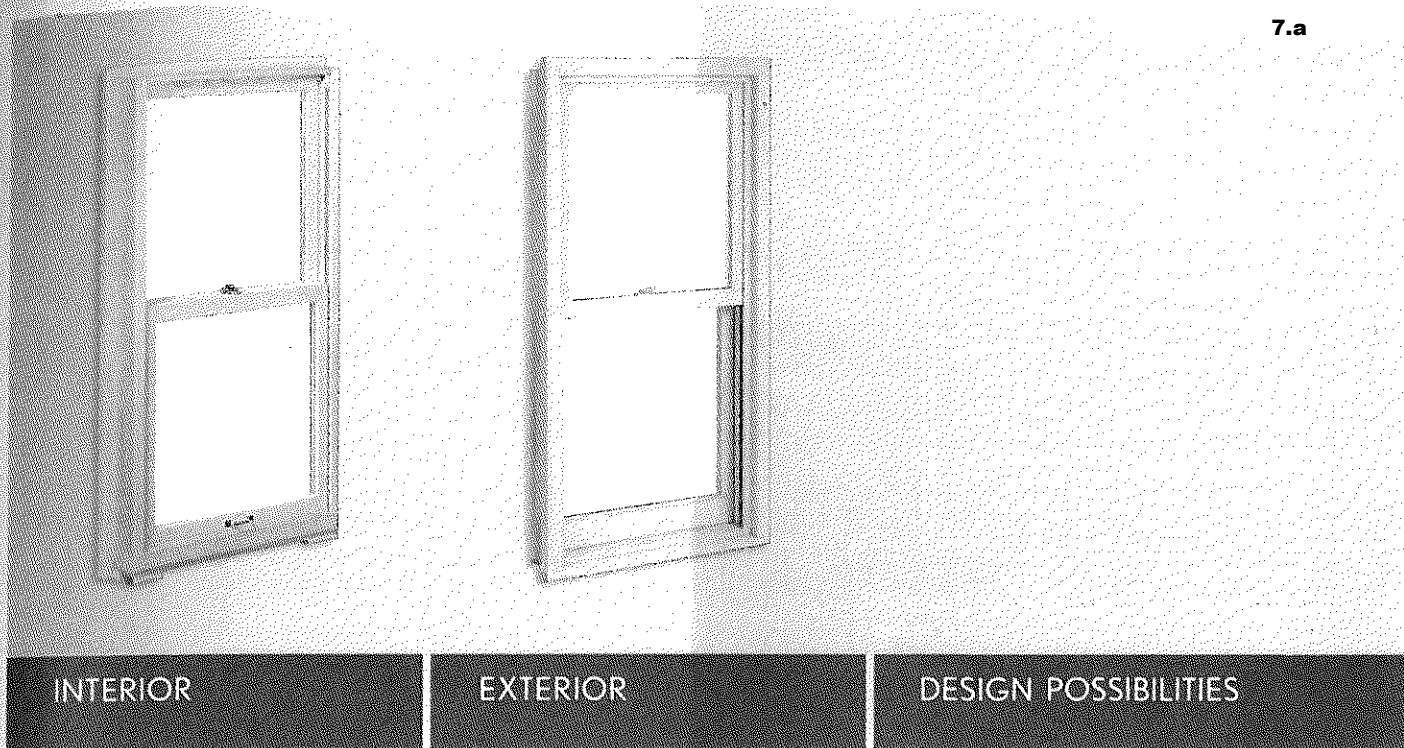
3/4" = 1'-0"

Nov. 1, 2014

Plato-Delaney-Lawrence Duplex  
322 Lighthouse Avenue  
Pacific Grove, California



ULTIMATE DOUBLE HUNG WINDOWS



INTERIOR

EXTERIOR

DESIGN POSSIBILITIES

## BOTH TRADITIONAL AND MODERN AT THE SAME TIME.

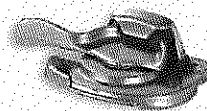
Window makers of an earlier era got a lot of things right. Sophisticated lines, profiles and proportions never go out of style. Marvin's Ultimate Double Hung combines a state-of-the-art window design with a classic style of the past. New advancements in engineering make Ultimate Double Hung windows simple to open. Marvin's exclusive integrated tilt lever lock allows the sash to be tilted in or removed for easy cleaning. And with so many options for sash sizes, glazing and lite patterns, you can dream up the ultimate window, and Marvin can build it.

### STANDARD FEATURES

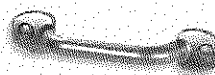
- One-lite LoE<sup>2</sup>-272<sup>®</sup> with argon insulating glass
- Satin Taupe sash lock
- Bare wood interior
- All wood brick mould casing (wood units)
- Extruded aluminum clad exterior (clad units)
- 4 9/16" (116 mm) jambs

### HARDWARE

#### SASH LOCK

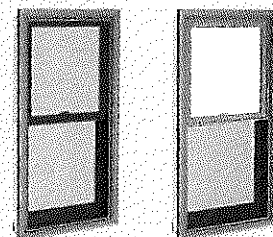


#### SASH LIFT



(optional)

### DETAILS

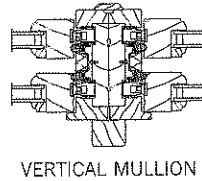
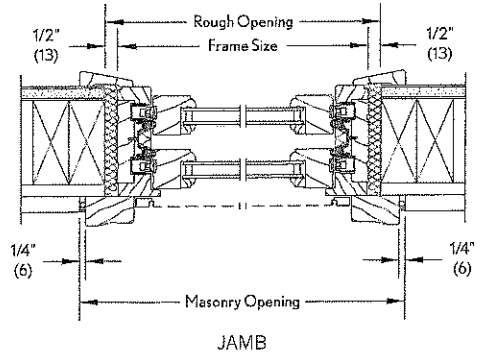
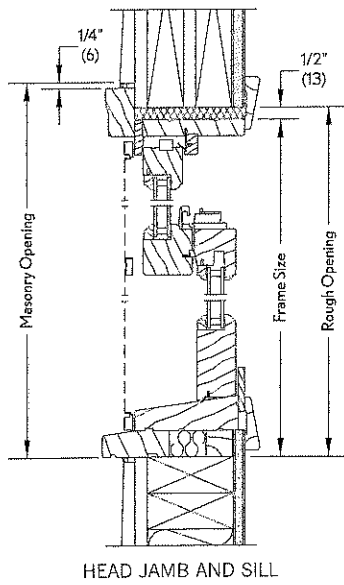


#### FULL & HALF SCREEN

Consider a full screen to cover your entire window or a half screen that covers only the lower portion. Choose from several mesh and surround options.

# WOOD ULTIMATE DOUBLE HUNG

## CONSTRUCTION DETAILS



### WOOD ULTIMATE DOUBLE HUNG / SINGLE HUNG

ENERGY DATA	U-Factor	R-Value	SHGC	VT	CR	ENERGY STAR
1/8" SG	0.84	1.2	0.61	0.63	12	
1/8" SG w/EP	0.45	2.2	0.56	0.58	44	
1/8" SG w/LoE EA EP	0.36	2.8	0.46	0.53	52	
1 1/16" Insulated Glass Air	0.46	2.2	0.55	0.58	42	
1 1/16" Insulated Glass LoE 272 Air	0.33	3.0	0.3	0.5	52	SC
1 1/16" Insulated Glass LoE 272 Argon	0.3	3.3	0.29	0.5	55	N, NC, SC
1 1/16" Insulated Glass LoE 272 Argon w/Combination	0.22	4.5	0.29	0.46	66	N, NC, SC
1 1/16" Insulated Glass LoE 366 Air	0.33	3.0	0.2	0.45	52	SC, S
1 1/16" Insulated Glass LoE 366 Argon	0.29	3.4	0.2	0.45	55	N, NC, SC, S
1 1/16" Insulated Glass LoE 366 Argon w/Combination	0.21	4.8	0.21	0.41	67	N, NC, SC, S





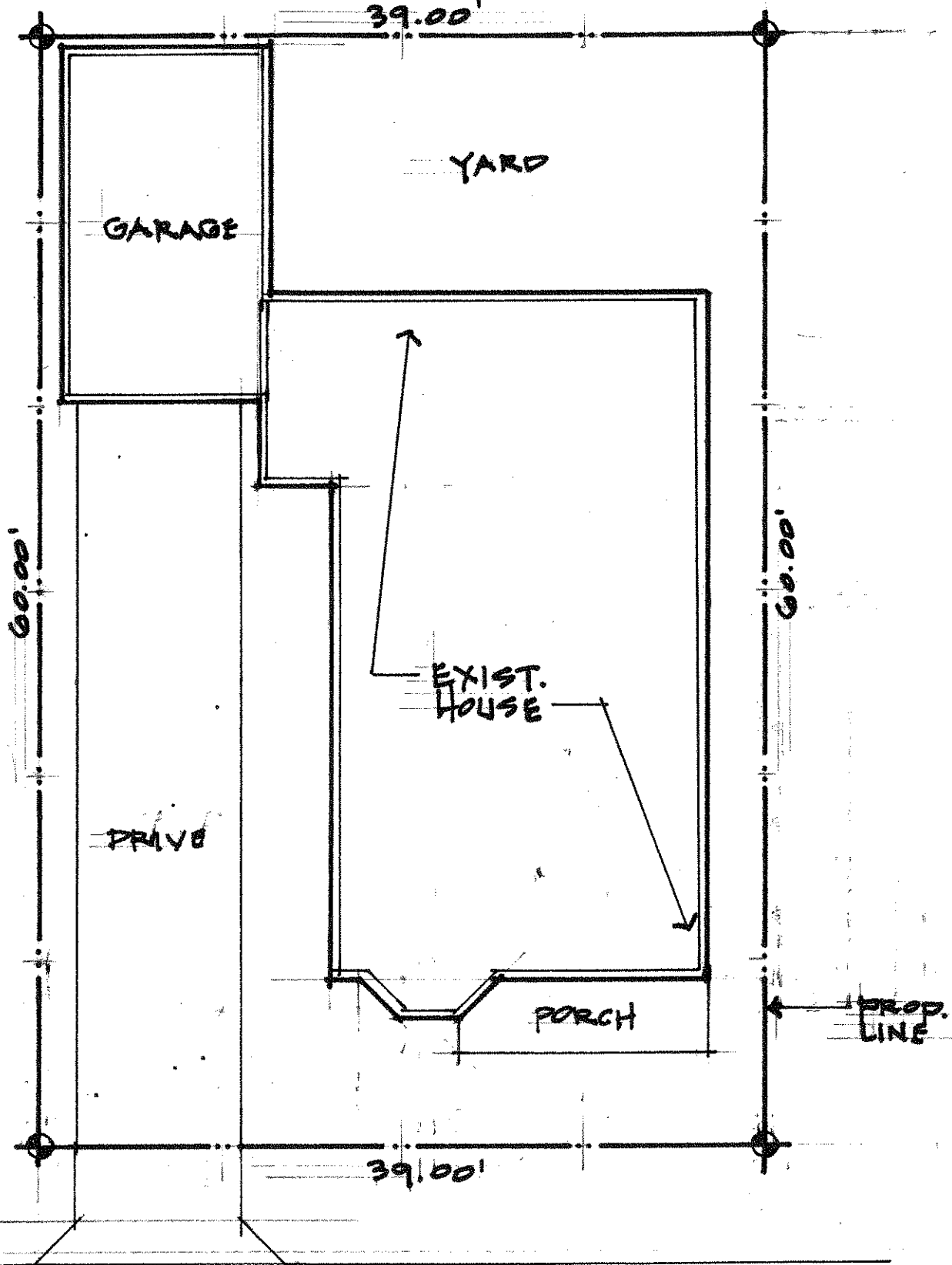
# 322 Lighthouse Ave. Surrounding Properties <sup>7a</sup>

0 15 30 60 Feet



Neighboring Site Plan  
144 7th St.

7.a



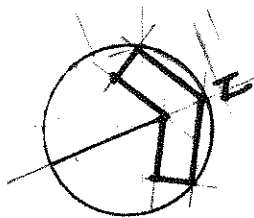
S E V E N T H S T.

SITE PLAN

1/8" = 11.011

144 SEVENTH ST.

DRAFTING BOARD 7A

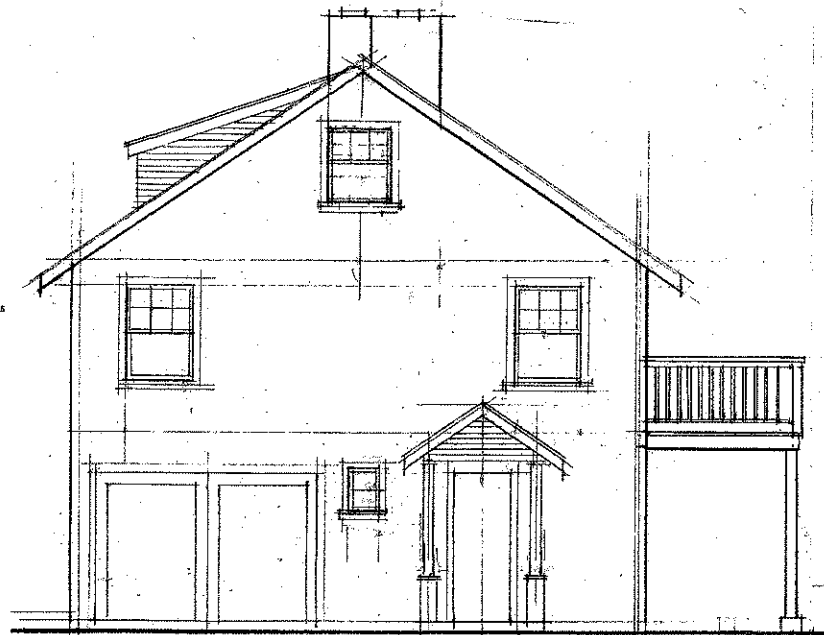




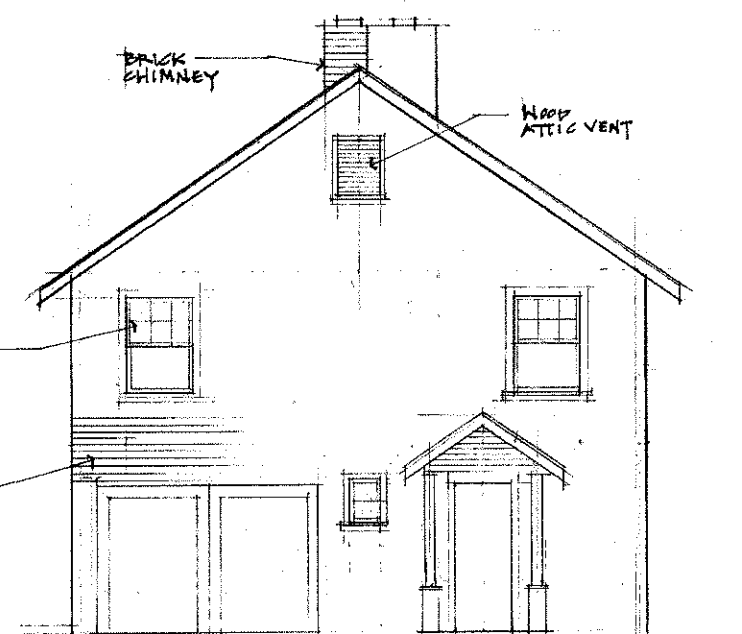


**GENERAL NOTES**

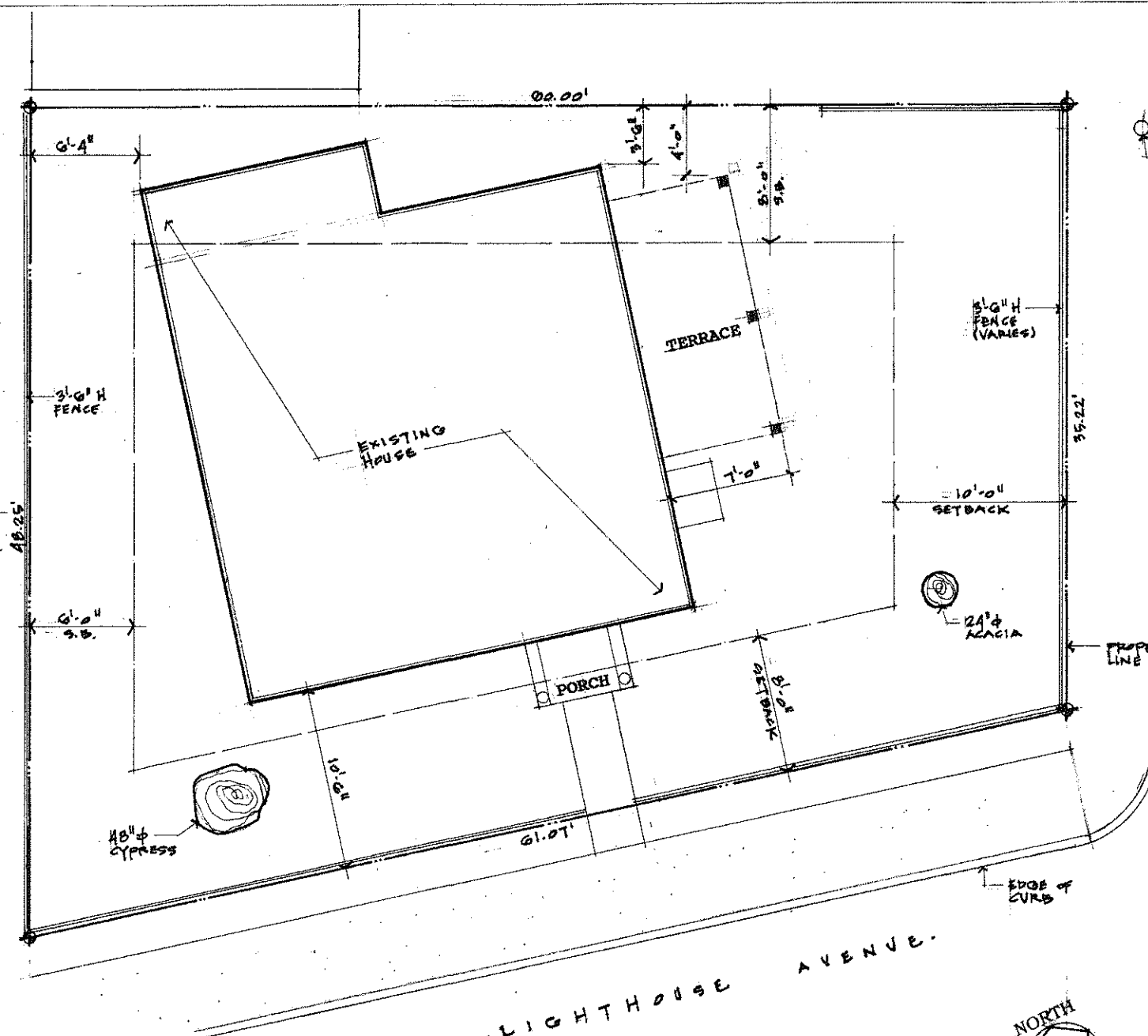
- All construction shall conform to the 2001 edition of the California Building Code, local ordinances, etc. In case of discrepancy, the more stringent shall apply.
- In case of discrepancies regarding dimensions or the intention of the drawings is unclear, the Contractor shall clarify with the Architect before proceeding with that work.
- Minimum concrete strength @ 28 days to be 2500 psi. Slump shall be minimum consistent with placing conditions, but not exceed 4 1/2".
- Reinforcing steel shall conform to ASTM A-615, grade 40, deformed, unpainted, and free from rust, scale or mud.
- Provide 26 ga. galvanized steel flashing as detailed and required to insure a watertight enclosure. All pieces shall be fabricated in maximum practical lengths, free from warps, buckles, dents, and other defects. Shop prime.
- Caulk all sill plates. Weatherstrip all exterior doors and windows.
- Toilets shall have a maximum 1 1/2 gallons/flush. Showerheads shall not exceed 2 1/2 gal./minute @ 40 psi. Maximum building water pressure is 50 psi. Faucets @ 2.2 gal./min.
- All lumber 4x4 and larger shall be Douglas Fir #1, unless otherwise noted. All lumber is D.F. #2, grade or better. Exposed beams & posts to be Select Structural.
- All lumber grades shall conform to the latest grading designations and the Western Wood Products Association.
- All nailing shall conform to the 2001 edition, C.B.C. Table 23-U-B-1, nailing schedule.
- Make all framing, post cap and base connections using "Stimpson" fasteners as indicated or equal.
- Plumbing pipe/lines may not be used as an electrical ground.
- No use of solders containing more than 2/10ths of 1% lead in making joints on water supply.
- Protect trees within 10 feet of grading with wrap of 2x4 @ 8' o.c. Any damaged landscape shall be replaced with like material at Contractor's cost.
- All faucets more than 10' from the water heater shall have a hot water re-circulating system.
- One window or door in each sleeping room shall provide a minimum operable area of 5.7 sq. ft., minimum clear opening height of 24", width of 20", maximum sill height of 44" opening directly into a public street, alley, court or yard.
- Bathroom receptacle outlets shall be supplied by at least one 20-amp circuit. Such circuits shall have no other outlets.
- Shower thresholds shall be of sufficient width to accommodate a minimum 22" door. Shower doors shall open so as to maintain a 22" unobstructed opening for egress. All shower compartments shall have a minimum finished interior of 1024 sq. in. and be capable of encompassing a 30" diameter circle.
- Provide pressure valve of thermostatic mixing valve to limit water temperature to 120 degrees F at tubs and showers.
- \*Gas line sizing diagram and pipe specification will be submitted to the Building Dept. prior to Rough Plumbing Inspection.\*



**South Elevation**  
1/4" = 1'-0"



**Existing South Elevation**  
1/4" = 1'-0"

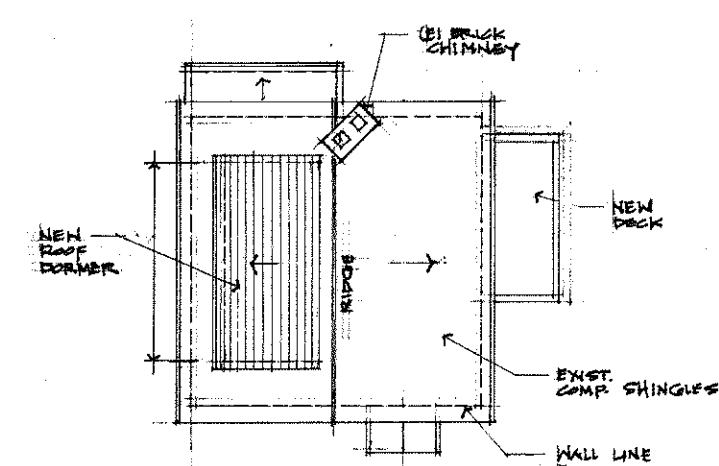


**Site Plan**  
1/4" = 1'-0"

APN 000-204-007 ZONING: R-3 PGR  
LOT 20+25 BLOCK 13 PACIFIC GROVE RETREAT

**PROJECT INFORMATION**

EXISTING HOUSE - LOWER FLOOR	742 SF.
UPPER FLOOR	780 SF.
TOTAL FLOOR AREA	1442 SF.
SITE AREA - 61.07' x 35.22' x 60' x 48.25'	= 2504 SF.
BLDG. COVERAGE - 742 / 2504	= 30% ALLOWABLE - 50%
ALLOWABLE FLOOR AREA	1899 SF.
ALLOWABLE SITE COVERAGE	
ALLOWABLE HEIGHT	30 FT.
PROPOSED/EXIST. HT.	20'-0"



**Roof Plan**  
1/8" = 1'-0"

**ABBREVIATIONS**

A.B. ANCHOR BOLT	E.A.L. EASE ALL NOTES	H.C. HOLLOW CORE	PLND. PLWOOD
A.C. ASPHALTIC CONCRETE	EQ. EQUAL	H.O.P. HORIZONTAL	PVC PLASTIC ORANGE
ADJ. ADJACENT	EX.AG. EXPOSED AGGREGATE	H.R. HEADER	RAPT. RAFTER
A.D. AREA DRAIN	(E) EXISTING	H.W. HANDWOOD	RND. RIBWOOD
BLDG. BLOCKING	EXT. EXTERIOR	HS. ROSE BIRD	S.C. SOLID CORE
BLDG. BUILDING	F.D. FLOOR DRAIN	INSUL. INSULATION	SETP. SETPOINT
BR. BRAN	F.F. FINISHED FLOOR	ID. LINE DIAMETER	STE. STEEL
C.B. CATCH BASIN	F.G. FINISHED GRADE	INT. INTERIOR	T&C TYPES & GROOVE
CL. CLASH	FLASH. FLASHING	JST. JOIST	TEL. TELEPHONE
COMP. COMPRESSING	FLR. FLOOR	LAV. LAVATORY	TRK. TRACK
CR. CERAMIC	FO. FOUNDATION	LWT. LIGHTWEIGHT	TRP. TRIPPER
COL. COLUMN	FOOTING	M.B. MACHINE BOLT	T.V. TELEVISION
CONC. CONCRETE	F.O.S. FACE OF STUDS	M.L.W. MALLEABLE IRON WASHER	T.O.S. TOP OF SLAB
D.F. DOUGLAS FIR	F.O.W. FACE OF WALL	M.I.C. MET IN CONTACT	T.O.H. TOP OF HALL
DIA. DIAMETER	GA. GAUGE	N.T.S. NOT TO SCALE	TYP. TYPICAL
D.S. DOWNSPOUT	G.I. GALVANIZED IRON	O/C. ON CENTER	U.O.N. UNLESS OTHERWISE NOTED
DWR. DRAINER	GL. GLASS	PL. PLATE	VERT. VERTICAL
EA. EASE	GRS. GYPSUM SHEETROCK	W/O. WITHOUT	W.P. WATERPROOF
		W.W. WELDED WIRE MESH	

7.a

**JOSEPH ROCK**  
ARCHITECTURE + PLANNING  
210 Seventeenth Street #1  
Pacific Grove, CA 93950  
831 373 8331

THE USE OF THESE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED, AND PERMISSION THEREOF IS HEREBY LIMITED TO SUCH USE. RE-USE, REPRODUCTION OR PUBLICATION IN ANY MANNER IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT, AND VISUAL CORRELATION WITH THE CONSTRUCTION SHALL BE THE EXCLUSIVE RESPONSIBILITY OF THE CONTRACTOR. THESE PLANS SHALL BE SUBJECT TO THE ACCEPTANCE OF THESE REGULATIONS.

**Plato-Delaney-Lawrence Duplex**  
**322 Lighthouse Avenue**  
**Pacific Grove, California**  
**408 896-4266**

ISSUED
OCT. 29, 2014
REVISED

1

2014-10



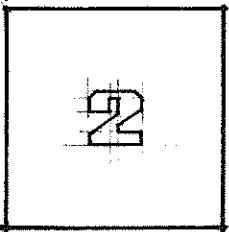


JOSEPH ROCK  
ARCHITECTURE + PLANNING  
210 Seventeenth Street #1  
Pacific Grove, CA 93950  
831 373 8331

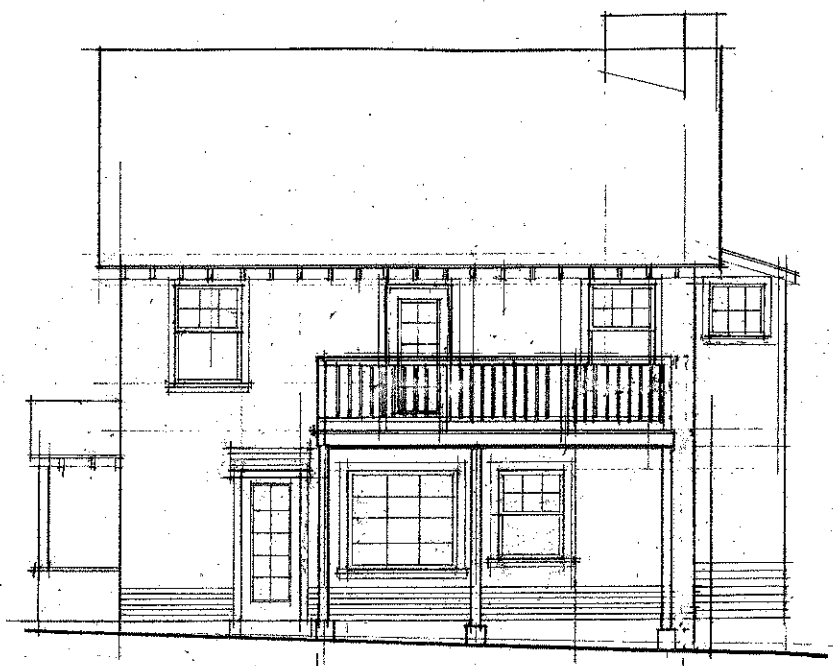
THE USE OF THESE PLANS AND SPECIFICATIONS IS LIMITED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED, AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. NO-USE, REPRODUCTION OR PUBLICATION BY ANY OTHER PARTY WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT IS PROHIBITED. THE USER OF THESE PLANS AND SPECIFICATIONS AGREES TO HOLD THE ARCHITECT AND FISCAL AGENT HARMLESS FROM ANY AND ALL LIABILITY ARISING FROM THE USE OF THESE PLANS AND SPECIFICATIONS.

**Plato-Delaney-Lawrence Duplex**  
**322 Lighthouse Avenue**  
**Pacific Grove, California**  
**408 896-4266**

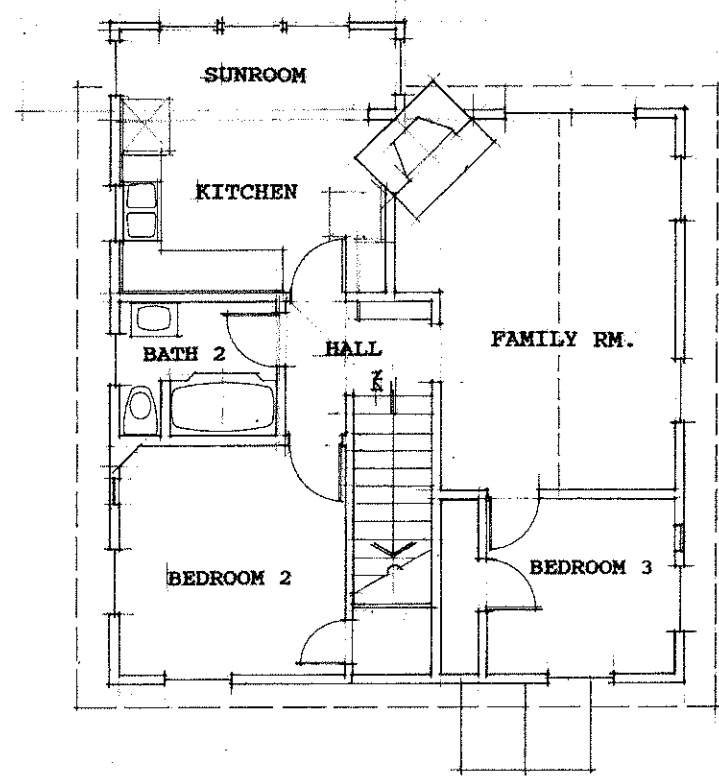
ISSUED  
OCT. 29, 2014  
REVISED



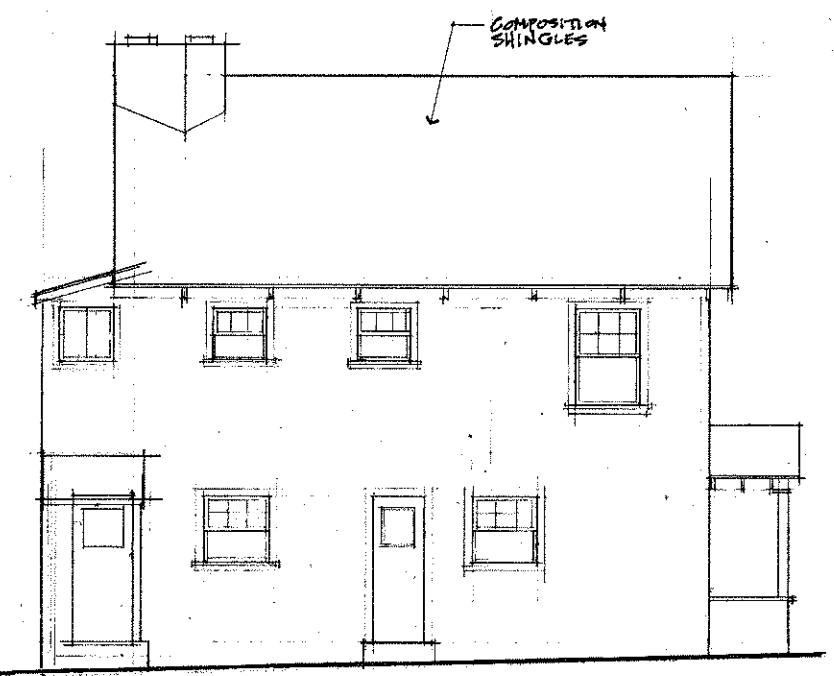
**Existing East Elevation**  
1/4" = 1'-0"



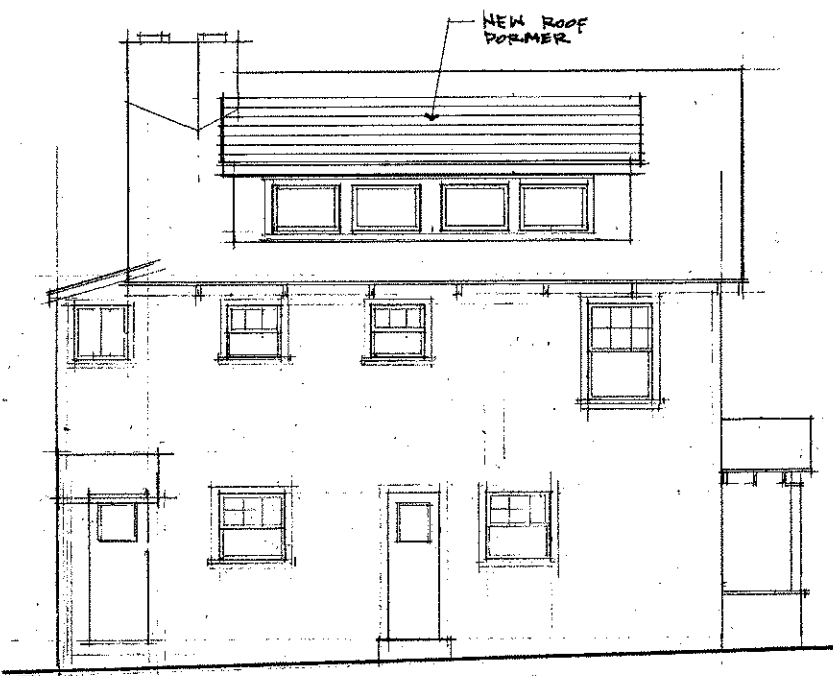
**East Elevation**  
1/4" = 1'-0"



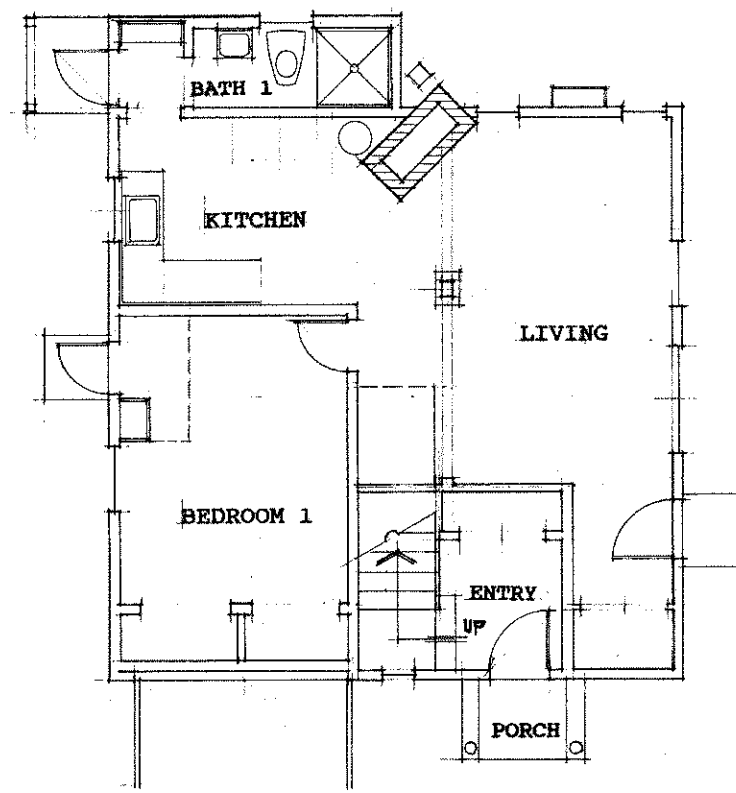
**Existing Second Floor Plan**  
1/4" = 1'-0"



**Existing West Elevation**  
1/4" = 1'-0"



**West Elevation**  
1/4" = 1'-0"



**Existing First Floor Plan**  
1/4" = 1'-0"



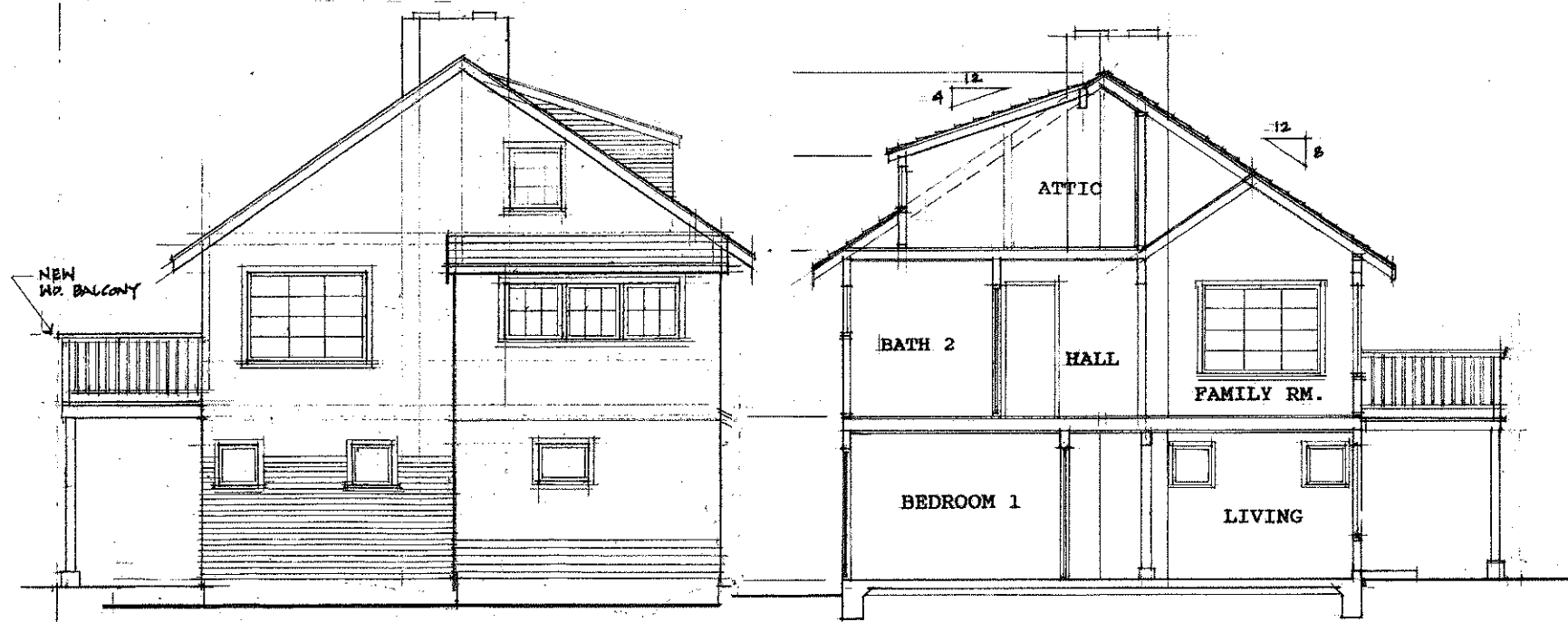
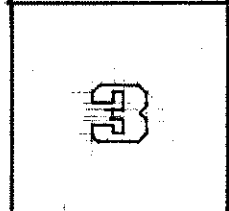


JOSEPH ROCK  
ARCHITECTURE + PLANNING  
210 Seventeenth Street #1  
Pacific Grove, CA 93950  
831 373 8331

THE USE OF THESE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL CITY, FOR WHICH THEY WERE PREPARED, AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. IN NO REPRODUCTION OR PUBLICATION BY ANY MEANS IS ANY PART OF THIS DOCUMENT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT, AND VISUAL CONTACT WITH THESE CONSTRUCTION PLANS SHALL BE LIMITED TO THE ACCEPTANCE OF THESE SPECIFICATIONS.

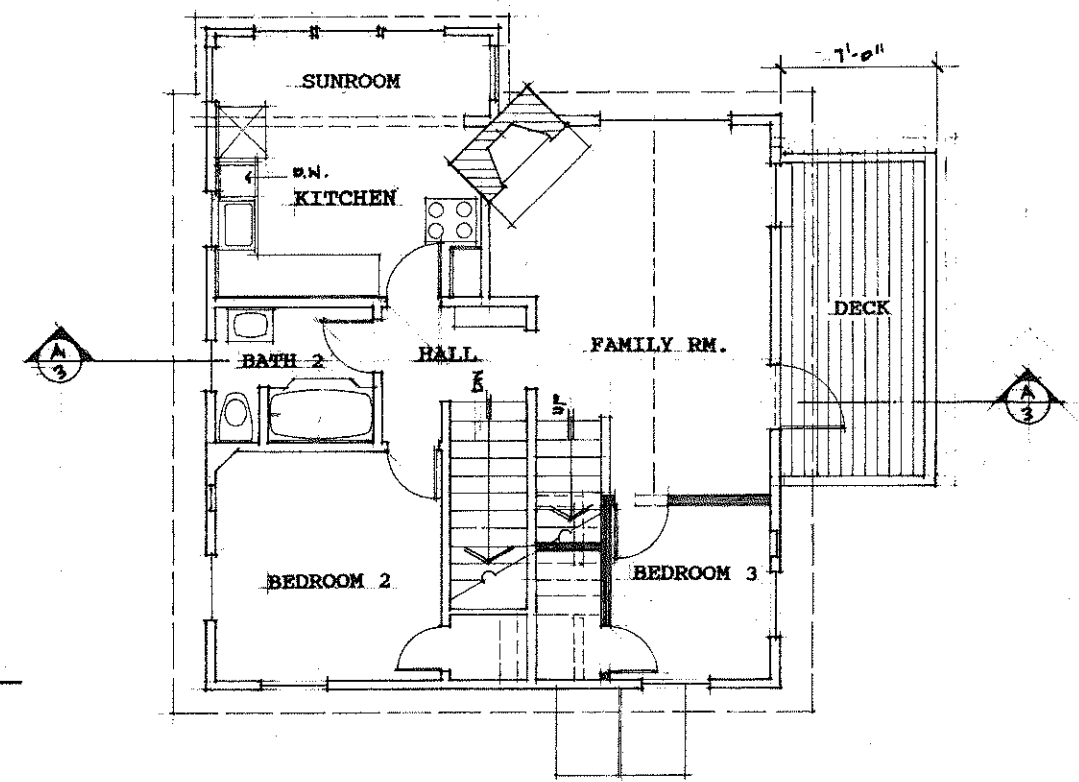
**Plato-Delaney-Lawrence Duplex**  
**322 Lighthouse Avenue**  
**Pacific Grove, California**  
**408 896-4266**

ISSUED  
Oct. 29, 2014  
REVISED

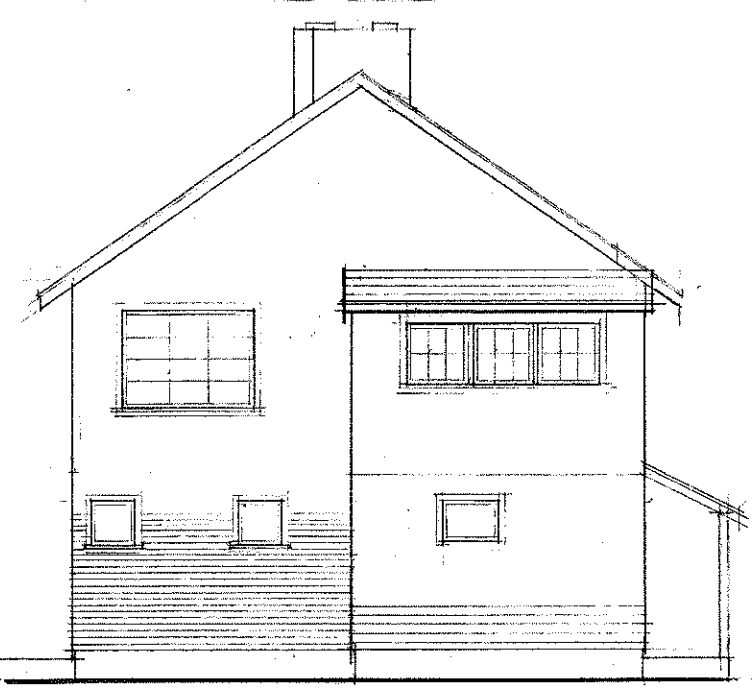


**North Elevation**  
1/4" = 1'-0"

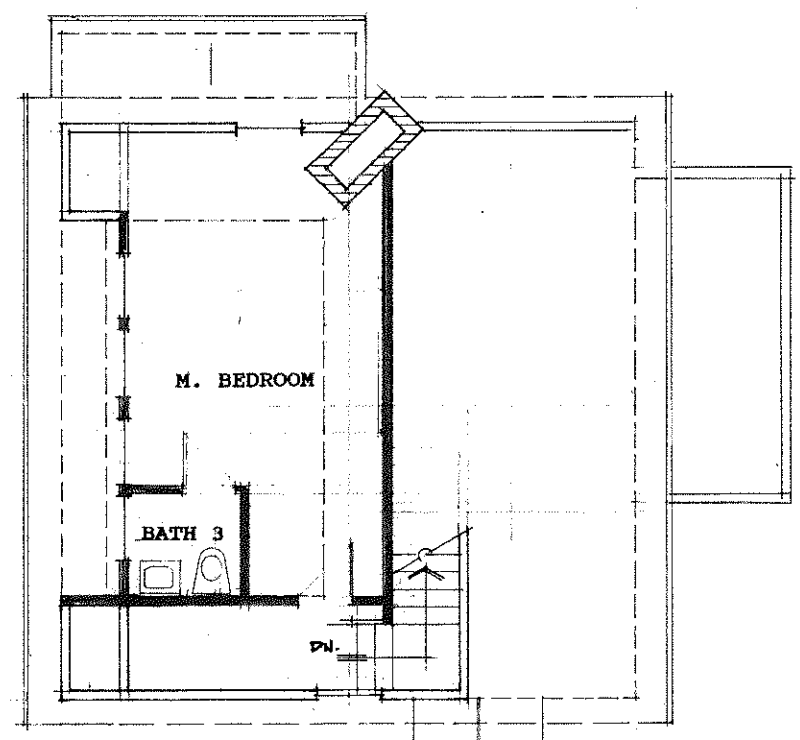
**Section A-A**  
1/4" = 1'-0"



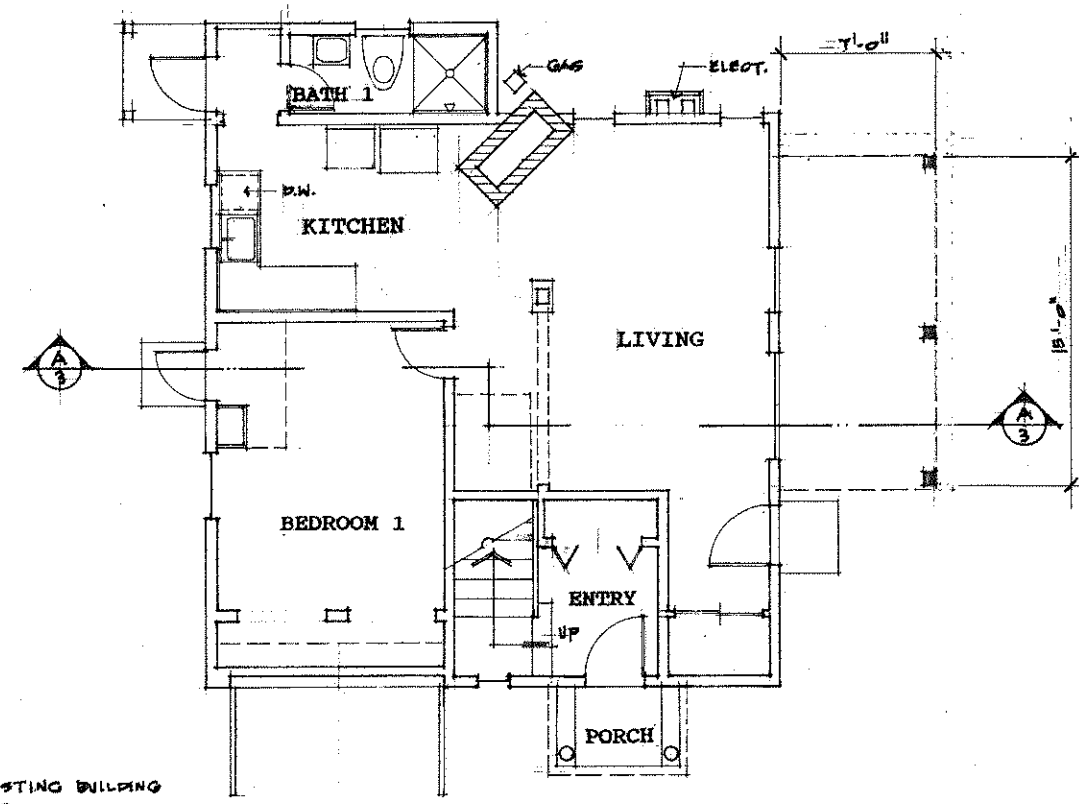
**Second Floor Plan**  
1/4" = 1'-0"



**Existing North Elevation**  
1/4" = 1'-0"



INDICATES EXISTING BUILDING  
TO BE REMOVED  
NEW CONSTRUCTION



**First Floor Plan**  
1/4" = 1'-0"

